

Location and Extent Staff Report

DATE: NOVEMBER 18, 2024
TO: DOUGLAS COUNTY PLANNING COMMISSION
FROM: CAROLYN WASHEE-FREELAND, AICP, SENIOR PLANNER *CWF*
JEANETTE BARE, AICP, PLANNING MANAGER *JB*
STEVEN E. KOSTER, AICP, ASSISTANT DIRECTOR OF PLANNING SERVICES *SK*
**SUBJECT: PINERY FILING 30A, TRACT F, HIGH PRAIRIE FARMS METROPOLITAN DISTRICT
MAINTENANCE BUILDING PROJECT – LOCATION AND EXTENT**

PROJECT FILE: LE2024-027

OWNER: HIGH PRAIRIE FARMS METROPOLITAN DISTRICT 8390 E. CRESCENT PKWY, SUITE 300 GREENWOOD VILLAGE, CO 80111	REPRESENTATIVE: CINDY PEDRIOLI, PROJECT MANAGER FARNSWORTH GROUP 5613 DTC PKWY, SUITE 1100 GREENWOOD VILLAGE, CO 80111
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PLANNING COMMISSION HEARING:

DECEMBER 2, 2024 @ 6:00 PM

I. EXECUTIVE SUMMARY

High Prairie Farms Metropolitan District (“HPFMD”) requests approval of a Location and Extent (L&E) to construct a new maintenance building on Tract F within the Pinery Filing 30A subdivision. The project area is located at the corner of S. Pinery Parkway and Democrat Road.

The project site is in the central portion of Douglas County, located east of State Highway 83 (SH83). HPFMD indicates that the project is necessary to increase the operational space for the District. The property is located within the Pinery Separated Urban Area of the *2040 Comprehensive Master Plan*.

II. REQUEST

A. Request

HPFMD requests approval of a L&E for the construction of a new 40-foot by 75-foot maintenance building on Tract F within the Pinery Filing 30A subdivision.

B. Location

The project site is located at the southeast corner of the S. Pinery Parkway and Democrat Road intersection, within the Pinery Planned Development (PD), Planning Area 70. The Pinery PD is located in the northeast portion of Douglas County, east of State Highway 83, south of Hilltop Road, and north of Bayou Gulch Road. Tract F is a 9.235-acre parcel owned and maintained by HPFMD. The project zoning, vicinity, and aerial maps are located with the Attachments section of this staff report.

C. Project Description

The applicant is proposing to construct a single-story 2,980 square-foot maintenance building to increase operational space for the HPFMD. The building will be used for both maintenance purposes and office space and will be located to the south of the existing HPFMD maintenance facility.

The new building will be designed to match the existing maintenance building and will include similar exterior building materials. The color scheme will include muted colors to integrate with the surrounding landscape. According to the applicant, the proposed exterior lighting will be full cut-off light fixture types, to match the existing building lighting fixtures. The building materials will consist of split face concrete masonry, asphalt shingles, anodized aluminum storefront, tan paint, dark bronze painted downspouts, and concrete bollards to be painted in safety yellow. The proposed development will include removal of some existing trees on the site. The applicant will then replace the removed trees with 7 ponderosa pine trees.

The applicant is proposing to site the building near the existing maintenance building; however, it will encroach into the 30-foot east side property line setback by 19.56 feet at the southeast corner of the building and 6.41 feet at the northeast corner of the building. All other building setbacks, as required by the Pinery PD, are met. The applicant indicates that, while the building could be moved to meet these setbacks, doing so would increase impervious areas on the property and require the removal of additional large trees. The applicant states that the proposed building location is consistent with the placement of other buildings on the site, will minimize the visual impact of the improvements, and will limit further disturbance of existing vegetation.

The applicant has stated that the new building will provide dedicated space for existing operations. The HPFMD currently stores equipment off-site and intends to store company vehicles and equipment in the building to reduce the number of trips to and from the facility. The current facility has 1.5 full-time employees on-site during operational hours. The meeting space within the new building is intended to be for small meetings for HPFMD. There will be a board meeting approximately 1 time per month, with approximately 9-10 people. The applicant plans to have HPFMD visitors park within the existing paved areas on an adjacent property owned by the Pinery Water and Wastewater District (PWWD).

The new building will share access and parking spaces with the adjacent property owned and maintained by the PWWD, referred to as the “Reservoir #7 & Well N Site.” The PWWD tract is accessed from Democrat Road. The applicant has an existing non-exclusive cross access easement in place with PWWD to access the existing HPFMD maintenance facility located on Tract F.

Construction activities are anticipated once the HPFMD has obtained all necessary permits, and the applicant estimates that construction will be completed within a 4-month timeframe. According to the applicant, construction activities will take place between 8:00 a.m. to 5:00 p.m., Monday through Friday. The existing access drive from the PWWD tract will be the primary access to the project site during construction. The applicant is not able to predict exactly how much traffic will occur during construction, however, they indicate that construction will commence with site work and foundation work, with an estimated 3 to 6 additional construction vehicles at any one time, which includes the equipment.

III. CONTEXT

A. Background

The new maintenance building will be located on Tract F within the Pinery Filing 30A subdivision. Pinery Filing 30A, was subdivided in 2013 as a portion of the Pinery Filing 30. Pinery Filing 30A contains 25 single-family residential lots and 6 tracts on 29.87 acres within the Pinery PD, Planning Area 70. Tract F is 9.235 acres and consists of open space, drainage facilities, maintenance, utilities, a regional trail extension, and pedestrian public access, and was dedicated to the HPFMD to own and maintain these facilities. The HPFMD has an existing 2,500 square-foot single-story maintenance building located on Tract F that was built in 2008 which takes access from the adjacent PWWD property off of Democrat Road.

The property is located within the Pinery Separated Urban Area of the *2040 Comprehensive Master Plan (CMP)* where urban level uses and services are generally supported. The CMP supports the preservation of existing vegetation and other natural features for new development.

B. Adjacent Land Uses and Zoning

The project site is zoned Planned Development (PD). The following table reflects the zone districts and land uses surrounding the project area.

	Zoning	Land Use
North	Pinery PD	Pinery Filing 30-A Single Family Residential Lots and Tract C, vacant land in Pinery Filing 30-A owned by HPFMD
South	Pinery PD	Tracts A and C, Pinery Filing 26A, vacant land owned by the HPFMD

	Zoning	Land Use
East	Pinery PD and Suburban Residential (SR)	PWWD Reservoir #7 & Well N Site; Single-Family Residential; and Tract B, Pinery 29-A, vacant land owned by HPFMD
West	Pinery PD	Tract D, Pinery Filing 27, 1 st Amendment, vacant land owned by HPFMD

IV. PHYSICAL SITE CHARACTERISTICS

A. Site Characteristics and Constraints

The overall topography of Tract F is composed of rolling terrain with a mix of scrub oak, ponderosa pine and native grasses. The site slopes from east to west, with steep berms and swales near the existing shared access.

B. Access

The new building will take access from the adjacent property owned by the PWWD, known as the Reservoir #7 & Well N Site. The PWWD tract is accessed from Democrat Road. The applicant has an existing non-exclusive cross-access easement in place with PWWD to access the existing HPFMD maintenance facility located on Tract F.

Democrat Road is a County-owned arterial roadway.

C. Drainage and Erosion

The applicant submitted a Drainage Letter with the request, which concluded that the proposed project has been designed to conform to the Douglas County Storm Drainage Design and Technical Criteria Manual.

A Grading Erosion & Sediment Control (GESC) plan and report will be submitted to Douglas County Engineering Services for review and approval prior to permits being issued for construction activities. Any additional requirements will be identified in referral comments to be provided by Public Works Engineering.

D. Floodplain

There is no mapped FEMA floodplain on the site.

V. PROVISION OF SERVICES

A. Fire Protection

The South Metro Fire Rescue Protection District (SMFRPD) provides fire and emergency medical services to the site. SMFRPD had no objection to request.

B. Sheriff Services

The Douglas County Sheriff’s Office (DCSO) provides emergency services to the site. At the writing of this staff report, the DCSO had not provided referral agency review comments.

C. Water and Sanitation

The new maintenance building will be served by PWWD.

D. Utilities

The site falls within the jurisdiction of Xcel Energy for electric and gas service. Xcel Energy’s referral comment stated there was “no apparent conflict.”

E. Other Required Processes and Permits

The proposed project will require the following permits and approvals prior to commencement of construction:

- Public Works Engineering - Grading Erosion and Sediment Control (GESC) Plans and Permits and other applicable construction plans and permits
- Douglas County Building Division – building permits

VI. PUBLIC NOTICE AND INPUT

Courtesy notices of an application in process were sent to abutting property owners. No responses were received from property owners at the time of the writing of this staff report.

Referral response requests were sent to referral agencies on November 12, 2024. Referral responses are due at the conclusion of the referral period on November 26, 2024, prior to the Planning Commission hearing. Agency responses received are included as an attachment to this staff report.

VII. STAFF ASSESSMENT

Staff has evaluated the application in accordance with Section 32 of the *Douglas County Zoning Resolution*. The applicant has indicated that the new maintenance building is necessary to increase the operational space for HPFMD. While encroaching into certain zoning setbacks, the applicant indicates that the placement of the maintenance facility was selected to minimize the amount of grade and vegetation disturbance.

Should the Planning Commission approve the Location and Extent request, the applicant will be required to obtain any necessary permits for completion of the proposed maintenance building.

ATTACHMENTS	PAGE
Douglas County Land Use Application	7
Location and Extent Narrative and Community Impact Report	8
Vicinity, Zoning, and Aerial Maps	10
Referral Agency Response Report	13
Referral Response Letters.....	16
Location and Extent Plan Exhibit	21

LAND USE APPLICATION

Please fill in this application form completely. An incomplete application will not be processed.

Note: Neither the Planning Commission nor the Board of County Commissioners should be contacted regarding an open application.

OFFICE USE ONLY	
PROJECT NAME: <u>Pinery Filing 30A, Tract F, High Prairie Farm Metro District, Location and Extent</u>	PROJECT FILE #: <u>LE2024-027</u>
PROJECT TYPE: <u>Location & Extents Plan (L&E)</u>	PLANNING FEES: <u>\$325.00</u>
MARKETING NAME: <u>High Prairie Farm Metro District Maintenance Bldg</u>	ENGINEERING FEES: _____
SITE ADDRESS: <u>near the NE corner of S. Pinery Pkwy and Democrat Rd.</u>	TOTAL FEES: _____
OWNER(S): Name(s): <u>High Prairie Farms Metro District</u> Address: <u>8390 E Crescent Pkwy Ste 300</u> Phone: <u>303-779-5710</u> Email: <u>matt@millerlandmanagement.com</u>	RELATED PROJECTS: <u>SB2013-045</u> <u>PS2024-046</u>
AUTHORIZED REPRESENTATIVE (requires notarized letter of authorization if other than owner) Name: <u>Farnsworth Group</u> Address: <u>5613 DTC Parkway, Suite 1100, Greenwood Village, CO 80111</u> Phone: <u>303-692-8838</u> Email: <u>cpedrioli@f-w.com</u>	_____ _____ _____ _____

LEGAL DESCRIPTION:

Subdivision Name: Pinery
 Filing #: _____ Lot #: Tract Block #: _____ Section #: NW 18 Township: 7 Range: 65

STATE PARCEL NUMBER(S): _____

ZONING:

Present Zoning: PD Proposed Zoning: same Gross Acreage: 9.235
 Gross Site Density (DU per AC): n/a # of Lots or Units Proposed: n/a

SERVICE PROVIDERS:

Fire District: south metro Metro District: high prairie Gas: _____
 Water: Pinery Water/WW Dist Sewer: Pinery Water/WW Dist Electric: _____
 Roads: Public Private (please explain): _____

To the best of my knowledge, the information contained on this application is true and correct. **I have received the County's information sheet regarding the Preble's Meadow Jumping Mouse.**

Richard P. Nelson
 Applicant Signature

10/10/24
 Date

100 Third Street, Castle Rock, Colorado 80104 • 303.660.7460

Revised 03.04.2021

November 8, 2024

RE: Project Narrative – High Prairie Farms Metro District Maintenance Facility

Existing Site Conditions:

The lot is a 9.235-acre site owned by High Prairie Farms Metro District on the northeast corner of Democrat Road and Pinery Parkway. It is considered Tract F Pinery 30-A. The site is mostly native trees, shrubs and grasses except where previous site improvements and roadway construction impacted the property with regrading and revegetation. There is one 50x50 concrete block building near the southeast corner of the District's property in addition to the small building on the adjacent Pinery Water property. The property is primarily accessed near the southeast corner off the adjacent lot owned by Denver Southeast Suburban Water and Sanitation District (Pinery Water). The two lots work in conjunction with one another, with the gravel driveway on the Pinery Water lot accessing both sites coming off Democrat Road onto the Water and Sanitation District's site, but with the existing storm drainage facilities and one building on the High Prairie Farms Metro District lot (see property lines on the site plan drawings).

Proposed Project:

The proposed project is being requested to increase the operational space for the High Prairie Farms Metro District. The improvements proposed include the addition of a combined single-story maintenance and office building on the southeast corner of the site near Democrat Road. The building is 2,980 SF (40' x 75'-4").

The building will be accessed off the loop drive off Democrat Road as described above on the Pinery Water property directly adjacent to the building. The building is located on the site less than the standard side property line setback, but it replicates the existing conditions of other buildings, including the building approved and built around 2012-2014. It will sit nearly perpendicular to Democrat Road and near the lot line and existing adjacent gravel drive. This keeps the cluster of maintenance buildings for both entities closer together, minimizing the visual impact of the improvements, and minimizing the disturbance on the site (as well as leave the existing drainage facility in place next to the existing building), and reduces the removal of native landscape, including mature Black Forest trees. All grading activities are kept near the building and will be re-seeded with a Douglas County seed mix and some native shrubs. The building could be pushed back to meet side setbacks, but it would increase impervious area and remove additional large trees, the configuration as proposed maintains compact development and disturbance on the site.

The building materials and design complement and are designed to match the existing facility buildings and are muted colors to integrate with the surrounding landscape and all lighting is full cut-off, matching existing building lighting. The building materials are more specifically described on the drawings, and include split face concrete masonry, asphalt shingles, anodized aluminum storefront, tan paint, dark bronze painted downspouts, and the bollards are concrete painted in safety yellow. All colors are intended to match the existing building on-site.

Compliance with the Comprehensive Plan:

The Pinery area is considered a Separated Urban Area (SUA) within the Douglas County 2040 CMP document. Within the language of the document, it specifically notes concern about wellhead protection for alluvial wells and groundwater protections zones for protection on water quality (this is also defined in Policy 2-15B.10 of the document). Overall, in this area, any development must consider the goal of maintaining the community separation surrounding The Pinery.

This property sits below the adjacent residential homes on the north, east and west sides of the area, the Democrat and Pinery Parkway intersection is in a low point. The new building will reflect the low-profile rooflines of the existing District buildings on both lots. The building is also placed on the site in proximity to existing disturbance and paving and is intended to minimize land disturbance as it also sits above the existing drainage to the north of the building, reducing impacts to the surface drainage in the area.

Traffic & Parking:

The new building is intended to provide dedicated space for existing operations and is anticipated to maintain or even reduce existing trips from the site. Some equipment is currently being kept off-site, so storing those vehicles in the building may reduce the number of trips to/from the facility.

On average, there is 1.5 FTE for the District on-site during operational hours. Outside of the vehicles being parked inside the garage spaces of the building, visitors to the site will park within the existing paved areas of the Pinery Water property. No long-term storage of vehicles or equipment is planned in the outdoor areas, just parking during building use. Please also see the provided cross-access easement and agreement between High Prairie Farms Metro District and Pinery Water for access to the District buildings.

The meeting space within the new building is intended to be for small meetings for the District and is not a large space for community meetings. There will be a board meeting approximately 1 time per month, with approximately 9-10 people, but otherwise it will be used by the 1-2 staff members on-site.

Construction Timeframe:

The project is anticipated to start as soon as the District has all the necessary permits. Once construction starts, it is anticipated to take approximately 3-4 months, with large efforts and equipment on-site for the site work and foundation. The District will commit to construction hours between 8am and 5pm daily. The number of contractors on-site is not anticipated to be significant, and estimated to not be more than 3-6 additional vehicles at any one time, plus equipment.

The following is the design team and owner contact information for this project.
If you have any questions, you are welcome to contact myself or other members of our team.
Thank you.

Sincerely,



Cindy Pedrioli, PLA
Senior Urban Planning Manager
Farnsworth Group
5613 DTC Parkway, Suite 1100
Greenwood Village, CO 80111
cpedrioli@f-w.com
303.692.8838

Matt Miller
Property Manager
High Prairie Farms Metro District
8390 E Crescent Parkway, Suite 300
Greenwood Village, CO 80111
matt@millerlandmanagement.com
303-779-5710








Brad Nelson, AIA
Senior Architectural Manager
Farnsworth Group
5613 DTC Parkway, Suite 1100
Greenwood Village, CO 80111
bnelson@f-w.com
303.692.8838

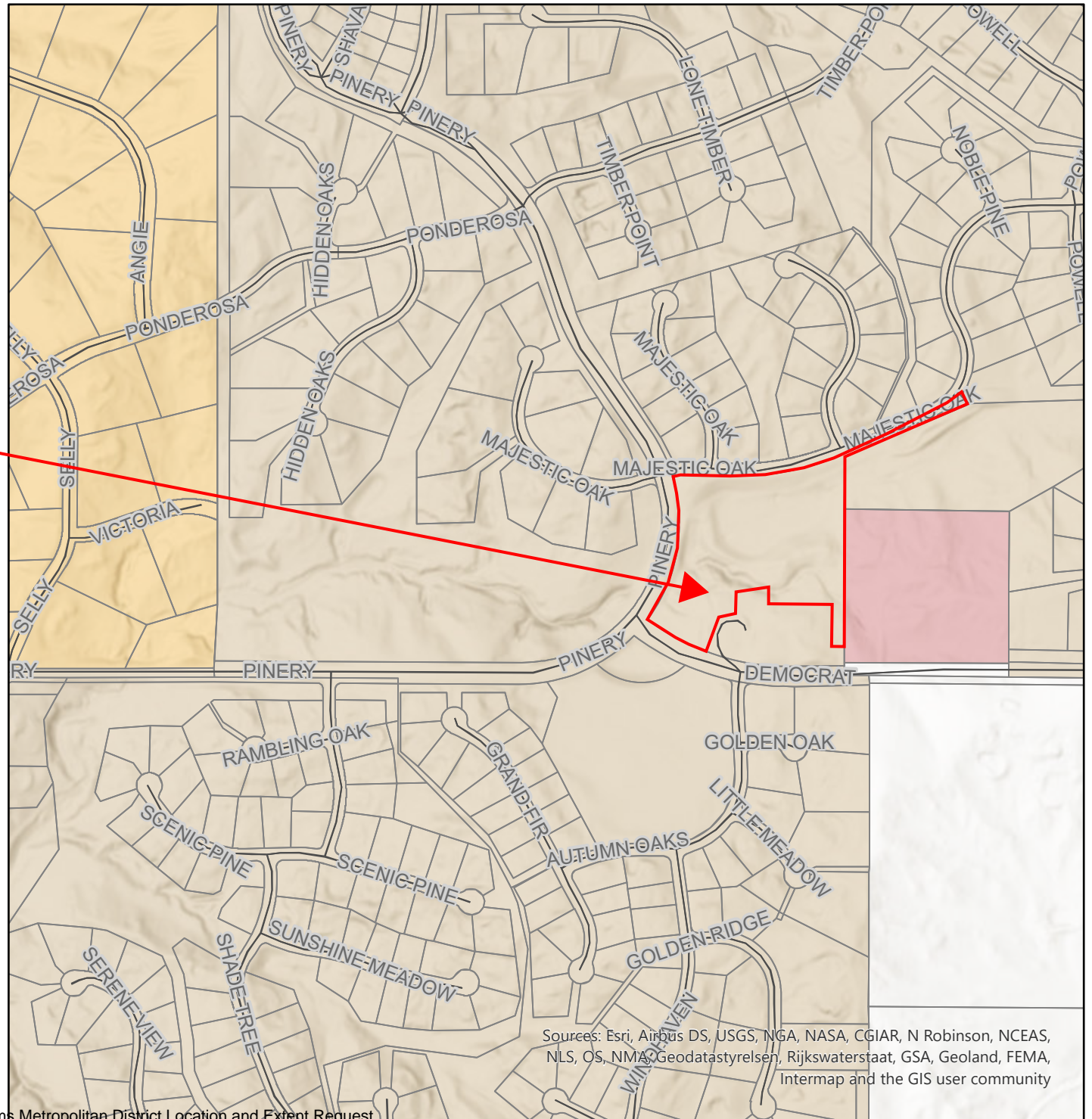
PINERY FILING 30A, TRACT F LOCATION & EXTENT

LE2024-027
ZONING MAP



LEGEND

-  Roads
-  Major Roads
-  PROJECT AREA
-  A1 - AGRICULTURAL ONE
-  ER - ESTATE RESIDENTIAL SR
-  - SUBURBAN RESIDENTIAL PD
-  - PLANNED DEVELOPMENT



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community

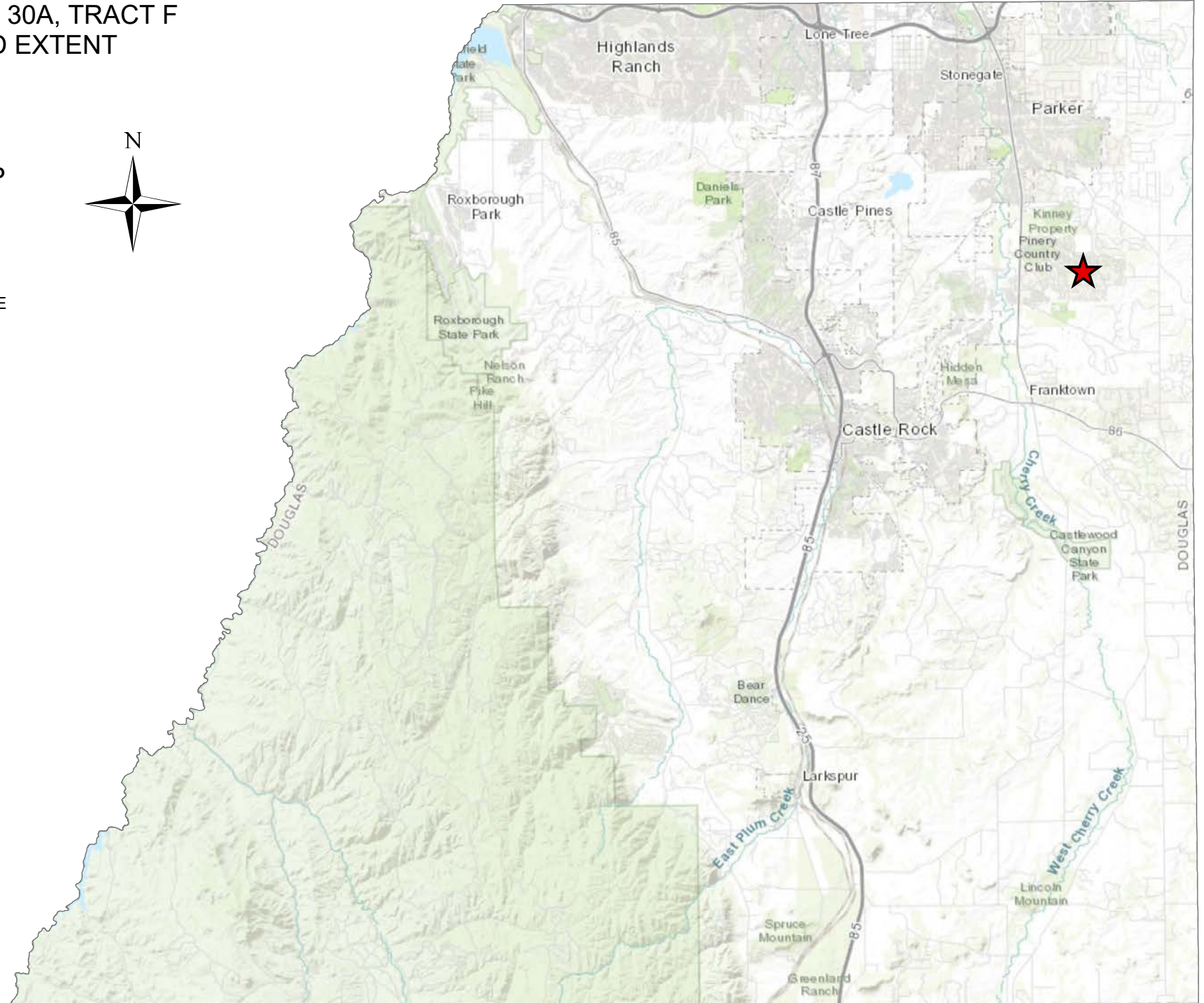
PINERY FILING 30A, TRACT F LOCATION AND EXTENT

LE2024-027
VICINITY MAP



LEGEND

 PROJECT SITE



PINERY FILING 30A, TRACT F LOCATION & EXTENT

LE2024-027
AERIAL MAP



LEGEND

- Roads
- Major Roads
- ▭ Project Area



Maxar, Microsoft

Initial Referral Agency Response Report

Project Name: Pinery Filing 30A, Tract F, High Prairie Farms Metropolitan District – Location and Extent

Project File #: LE2024-027

Initial Referral: Date Sent: 11/12/2024 **Date Due:** 11/26/2024

Agency	Date Received	Agency Response	Response Resolution
Addressing Analyst	11/18/2024	No Comment	No action necessary
Assessor	11/19/2024	No Comment	No action necessary
AT&T	11/13/2024	This is in response to your eReferral with a utility map showing any buried AT&T Long Line Fiber Optics near Democrat Road Franktown, Colorado. The Earth map shows the project area in red. Based on the address and/or map you provided, there should be NO conflicts with the AT&T Long Lines, as we do not have facilities in that area. Ann Barnowski Clearwater Consulting Group Inc 120 9th Avenue South Suite 140 Nampa, ID 83651 Annb@cw64.com	No action necessary
Black Hills Energy	Awaiting Response		
Building Services	Awaiting Response		
CenturyLink	Awaiting Response		
Comcast	Awaiting Response		
CORE Electric Cooperative	Awaiting Response		
Drainage: Mile High Flood District	Awaiting Response		
Engineering Services	Awaiting Response		
Fire Districts: South Metro Fire Rescue	11/14/2024	South Metro Fire Rescue (SMFR) has reviewed the provided documents and has no objection to the proposed Location and Extent.	No action necessary
Homeowners Association: High Prairie Farms HOA	Awaiting Response		
Homeowners Association: The Pinery HOA	Awaiting Response		
Homeowners Association: Misty Pines HOA	Awaiting Response		

Initial Referral Agency Response Report

Project Name: Pinery Filing 30A, Tract F, High Prairie Farms Metropolitan District – Location and Extent

Project File #: LE2024-027

Initial Referral: Date Sent: 11/12/2024 **Date Due:** 11/26/2024

Agency	Date Received	Agency Response	Response Resolution
Homeowners Association: Timbers At The Pinery Filing 23A HOA	Awaiting Response		
Homeowners Association: Timbers At The Pinery Filing 23B HOA	Awaiting Response		
Homeowners Association: Timbers HOA	Awaiting Response		
Metro District: High Prairie Farms Metropolitan District	Awaiting Response		
Office of Emergency Management	Awaiting Response		
Sheriff's Office	Awaiting Response		
Sheriff's Office E911	Awaiting Response		
Pinery Water and Wastewater District	Awaiting Response		
Xcel Energy-Right of Way & Permits	11/18/2024	<p>Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documents for the above-mentioned project and currently has no apparent conflict. As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.</p> <p>Violeta Ciocanu (Chokanu) Right of Way and Permits Public Service Company of Colorado dba Xcel Energy Office: 303-285-6612 – Email: violeta.ciocanu@xcelenergy.com</p>	No action necessary

SOUTH METRO FIRE RESCUE

FIRE MARSHAL'S OFFICE



Carolyn Washee-Freeland, AICP, Senior Planner
Douglas County Department of Community Development, Planning Services
100 Third St
Castle Rock Co 80104
303.660.7460
303.660.9550 Fax

Project Name: High Prairie Farms Metro District – Location and Extent
Project File #: **LE2024-027**
S Metro Review #: REFSP24-00195

Review date: November 14, 2024

Plan reviewer: Aaron Miller
720.989.2246
aaron.miller@southmetro.org

Project Summary: High Prairie Farms Metro District requests approval of a Location and Extent for the construction of a new maintenance building located near the northeast corner of S. Pinery Pkwy and Democrat Road SPN: 2347-182-05-001.

Code Reference: Douglas County Fire Code, 2018 International Fire Code, and 2021 International Building Code with amendments as adopted by Douglas County.

South Metro Fire Rescue (SMFR) has reviewed the provided documents and has no objection to the proposed Location and Extent. Applicants and Contractors are encouraged to contact SMFR regarding the applicable permit requirements for the proposed project.

Carolyn Freeland

From: annb cwc64.com <annb@cwc64.com>
Sent: Wednesday, November 13, 2024 2:31 PM
To: Carolyn Freeland
Cc: Pam Choy (pc2914@att.com); duanew cwc64.com; jt cwc64.com
Subject: Democrat Road Franktown, Colorado Douglas County eReferral #LE2024-027
Attachments: Democrat Road Franktown, Colorado.jpg

Hi Carolyn,

This is in response to your eReferral with a utility map showing any buried AT&T Long Line Fiber Optics near Democrat Road Franktown, Colorado. The Earth map shows the project area in red. Based on the address and/or map you provided, there should be NO conflicts with the AT&T Long Lines, as we do not have facilities in that area.

Please feel free to contact us with any questions or concerns.

Ann Barnowski
Clearwater Consulting Group Inc
120 9th Avenue South
Suite 140
Nampa, ID 83651
Annb@cwc64.com

The attached google earth maps are intended to show approximate locations of the buried AT&T long line fiber optic cable. The maps are provided for informational purposes only. In no way should the maps be used for anything other than general guidelines as to where the fiber is or is not and any other use of these maps is strictly prohibited.

-----Original Message-----

From: cfreeland@douglas.co.us <cfreeland@douglas.co.us>
Sent: Tuesday, November 12, 2024 2:39 PM
To: annb cwc64.com <annb@cwc64.com>
Subject: Douglas County eReferral (LE2024-027) Is Ready For Review

There is an eReferral for your review. Please use the following link to log on to your account:
<https://apps.douglas.co.us/planning/projects/Login.aspx>

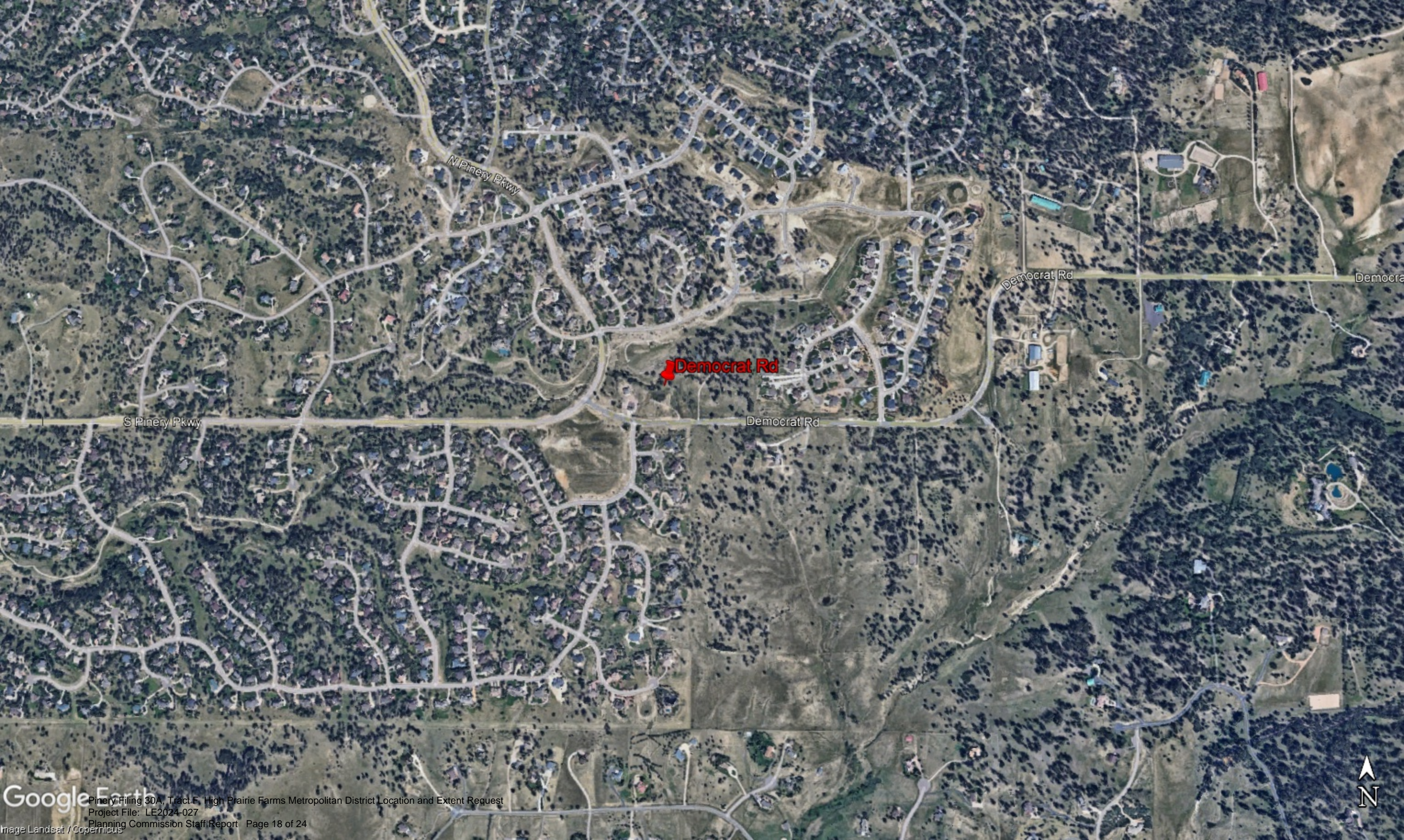
LE2024-027, Pinery Filing 30A, Tract F, High Prairie Farms MetroDistrict - New Maintenance Building Location and Extent Request

High Prairie Farms Metro District requests approval of a Location and Extent for the construction of a new maintenance building located near the northeast corner of S. Pinery Pkwy and Democrat Road SPN: 2347-182-05-001.

This referral will close on November 26, 2024.

If you have any questions, please contact me.

Sincerely,



Democrat Rd

S Pinery Pkwy

N Pinery Pkwy

Democrat Rd

Democrat Rd

Democrat Rd





Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.285.6612
violeta.ciocanu@xcelenergy.com

November 18, 2024

Douglas County Planning Services
100 Third Street
Castle Rock, CO 80104

Attn: Carolyn Washee-Freeland

**Re: Pinery Filing 30A, Tract F, High Prairie Farms MetroDistrict - New
Maintenance Building Location and Extent Request
Case # LE2024-027**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documents for **the above-mentioned project** and currently has **no apparent conflict**.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Violeta Ciocanu (Chokanu)
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-285-6612 – Email: violeta.ciocanu@xcelenergy.com

HIGH PRAIRIE FARMS METRO DISTRICT - MAINTENANCE BUILDING ADDITION

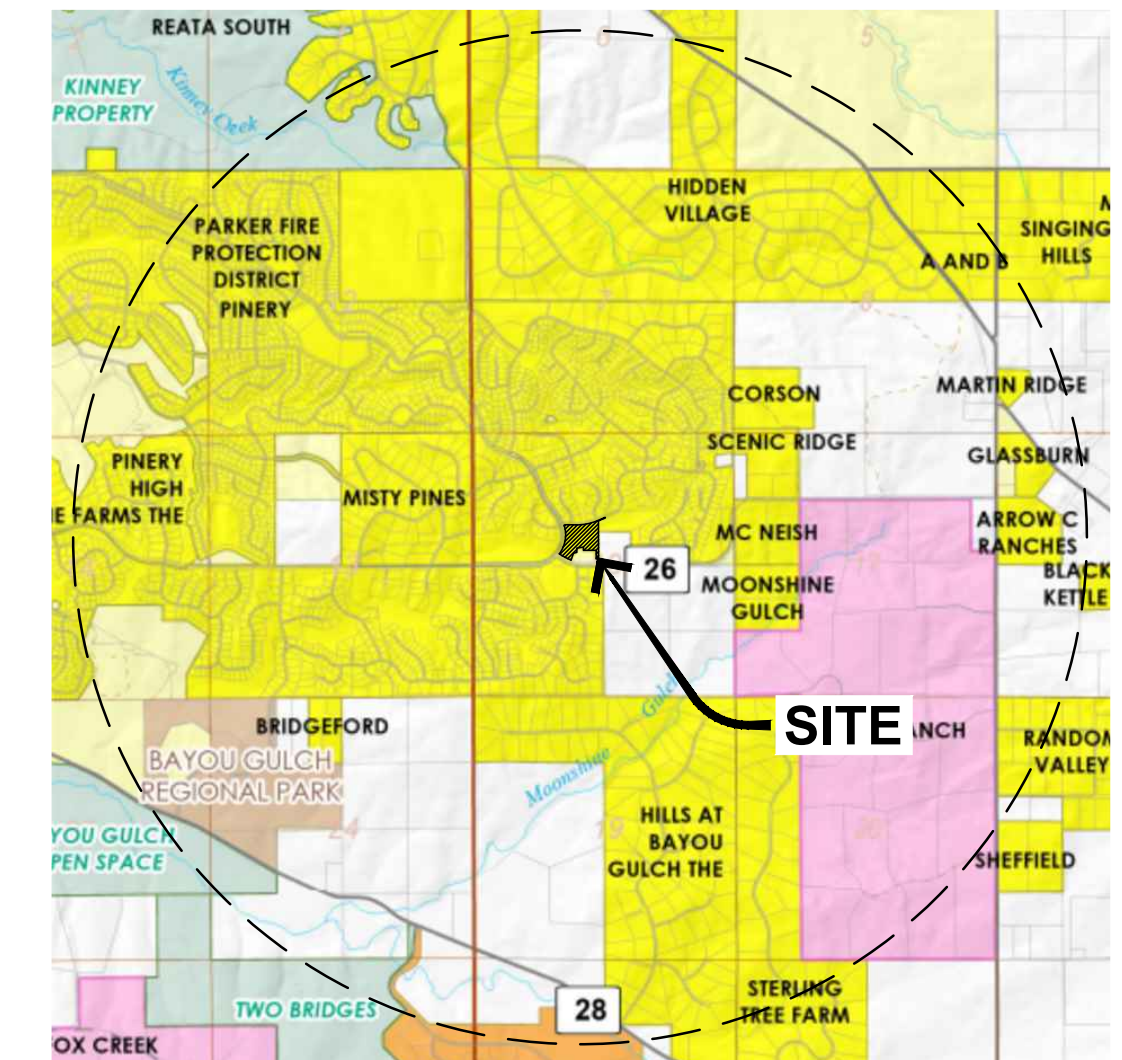
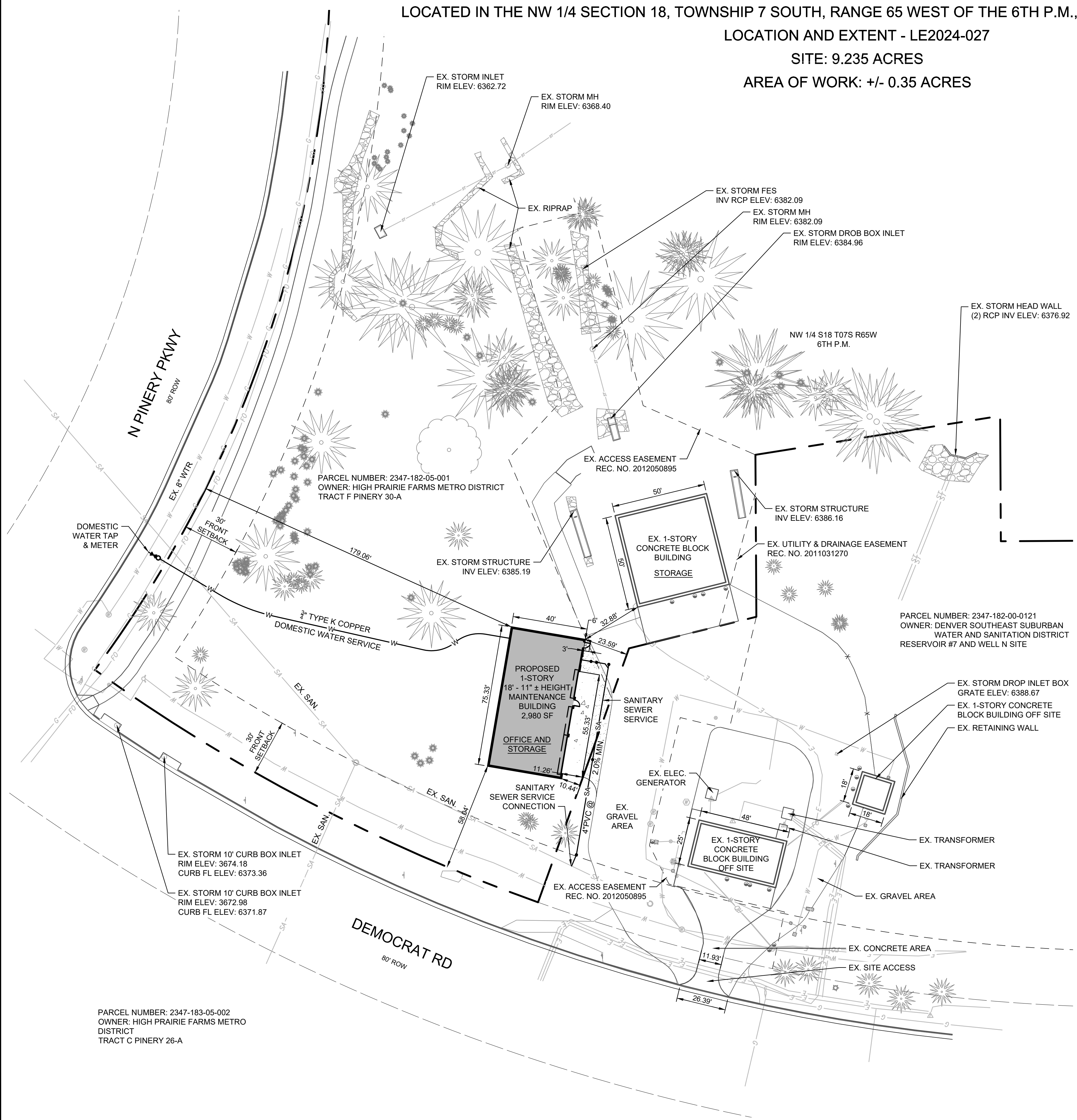
PINERY FILING 30-A, TRACT F

LOCATED IN THE NW 1/4 SECTION 18, TOWNSHIP 7 SOUTH, RANGE 65 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

LOCATION AND EXTENT - LE2024-027

SITE: 9.235 ACRES

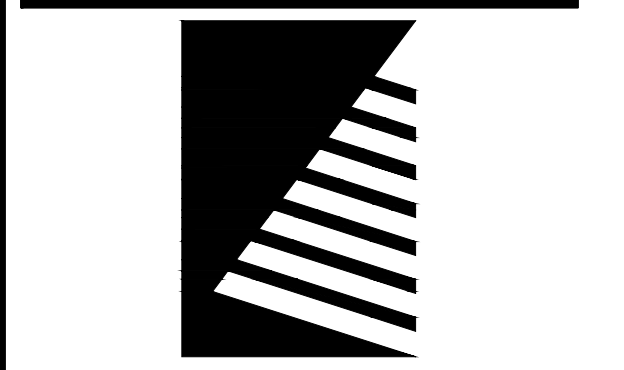
AREA OF WORK: +/- 0.35 ACRES



2 VICINITY MAP
WITH 1 MILE RADIUS
SCALE: 1"=2000'

LEGEND

	EX BOLLARD
	EX SIGN
	EX FIRE HYDRANT
	EX WATER MANHOLE
	EX WATER METER
	EX WATER VALVE
	EX WATER FAUCET
	EX SANITARY MANHOLE
	EX GAS MARKER
	EX TRANSFORMER
	EX GAS LINE
	EX WATER LINE
	PROPOSED WATER LINE
	EX SANITARY LINE
	PROPOSED SANITARY LINE
	EX STORM LINE
	EX PROPERTY LINE
	EX RIGHT OF WAY
	EX EASEMENT
	EX ROCK
	EX FENCE LINE
	EX RIPRAP
	EX TREE
	EX GRAVEL
	EX ASPHALT
	EX CONCRETE
	EX CURB & GUTTER
	PROPOSED GRAVEL
	PROPOSED CONCRETE



Farnsworth GROUP

5613 DTC PARKWAY, SUITE 1100
GREENWOOD VILLAGE, COLORADO 80111
(303) 692-8838 / info@f-w.com

www.f-w.com
Engineers | Architects | Surveyors | Scientists

ISSUE:
DATE: DESCRIPTION:

Project Status
NOT FOR CONSTRUCTION

HIGH PRAIRIE FARMS METRO DISTRICT

HPFMD MAINTENANCE BUILDING

9455 DEMOCRAT ROAD,
PARKER, CO 80134

DATE: 11/08/2024
DESIGNED: JN
DRAWN: GG
REVIEWED: CP

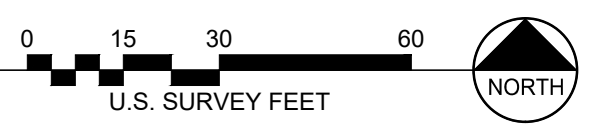
SHEET TITLE:
SITE & UTILITY PLAN

SHEET NUMBER:

1
1 OF 5

PROJECT NO.: 0241109.00

1 SITE & UTILITY PLAN
SCALE: 1"=30'



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HIGH PRAIRIE FARMS METRO DISTRICT - MAINTENANCE BUILDING ADDITION

PINERY FILING 30-A, TRACT F

LOCATED IN THE NW 1/4 SECTION 18, TOWNSHIP 7 SOUTH, RANGE 65 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

LOCATION AND EXTENT - LE2024-027

SITE: 9.235 ACRES

AREA OF WORK: +/- 0.35 ACRES

MAJESTIC OAK DR
80' ROW

PARCEL NUMBER: 2347-182-05-001
OWNER: HIGH PRAIRIE FARMS METRO DISTRICT
TRACT F PINERY 30-A

PARCEL NUMBER: 2347-182-00-0121
OWNER: DENVER SOUTHEAST SUBURBAN
WATER AND SANITATION DISTRICT
RESERVOIR #7 AND WELL N SITE

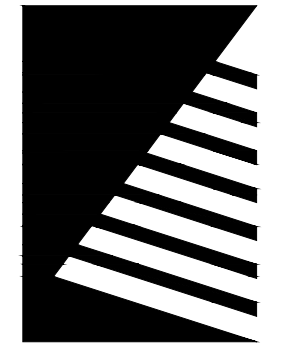
PARCEL NUMBER: 2347-183-05-002
OWNER: HIGH PRAIRIE FARMS METRO
DISTRICT
TRACT C PINERY 26-A

N PINERY PKWY
80' ROW

DEMOCRAT RD
80' ROW

LEGEND

	EX CURB BOX INLET
	EX PROPERTY LINE
	EX LAND SECTION LINE
	EX EASEMENT
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EX FENCE LINE
	EX RIPRAP
	EX TREE
	EX GRAVEL
	EX ASPHALT
	EX CONCRETE
	EX CURB & GUTTER
	PROPOSED GRAVEL
	PROPOSED CONCRETE



Farnsworth
GROUP

5613 DTC PARKWAY, SUITE 1100
GREENWOOD VILLAGE, COLORADO 80111
(303) 692-8838 / info@f-w.com

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Engineers | Architects | Surveyors | Scientists

ISSUE:
DATE: DESCRIPTION:

Project Status
NOT FOR CONSTRUCTION

PROJECT:
HIGH PRAIRIE FARMS METRO
DISTRICT

**HPFMD
MAINTENANCE
BUILDING**

9455 DEMOCRAT ROAD,
PARKER, CO 80134

DATE: 11/08/2024
DESIGNED: JN
DRAWN: JN
REVIEWED: CP

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
2
2 OF 5

PROJECT NO.: 0241109.00

1 OVERALL SITE PLAN
SCALE: 1" = 60'



HIGH PRAIRIE FARMS METRO DISTRICT - MAINTENANCE BUILDING ADDITION

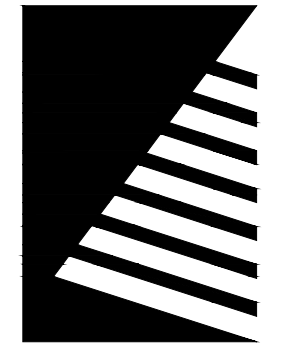
PINERY FILING 30-A, TRACT F

LOCATED IN THE NW 1/4 SECTION 18, TOWNSHIP 7 SOUTH, RANGE 65 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

LOCATION AND EXTENT - LE2024-027

SITE: 9.235 ACRES

AREA OF WORK: +/- 0.35 ACRES



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HIGH PRAIRIE FARMS METRO DISTRICT

HPFMD MAINTENANCE BUILDING

9455 DEMOCRAT ROAD,
PARKER, CO 80134

DATE: 11/08/2024

DESIGNED: GG

DRAWN: GG

REVIEWED: CP

SHEET TITLE:

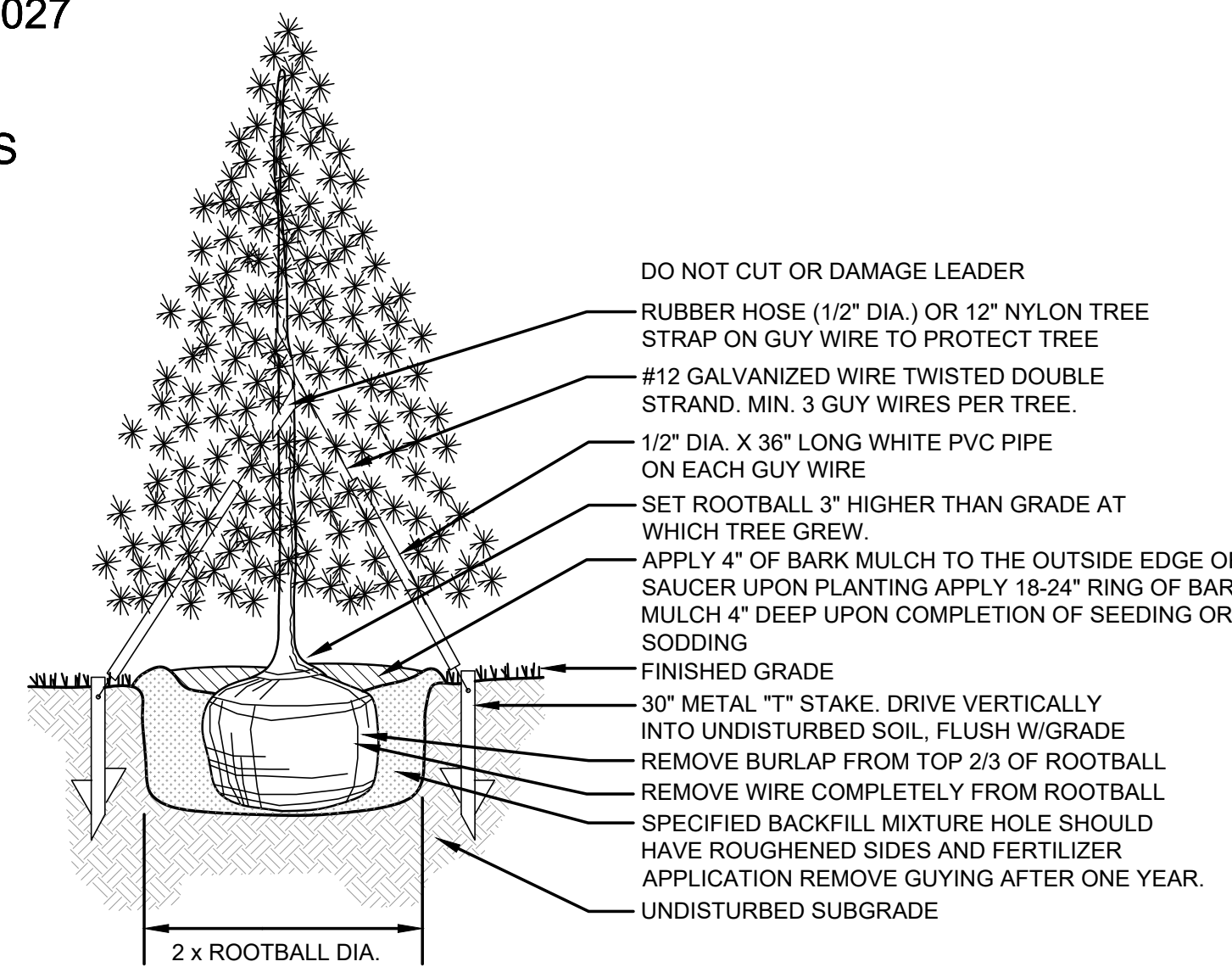
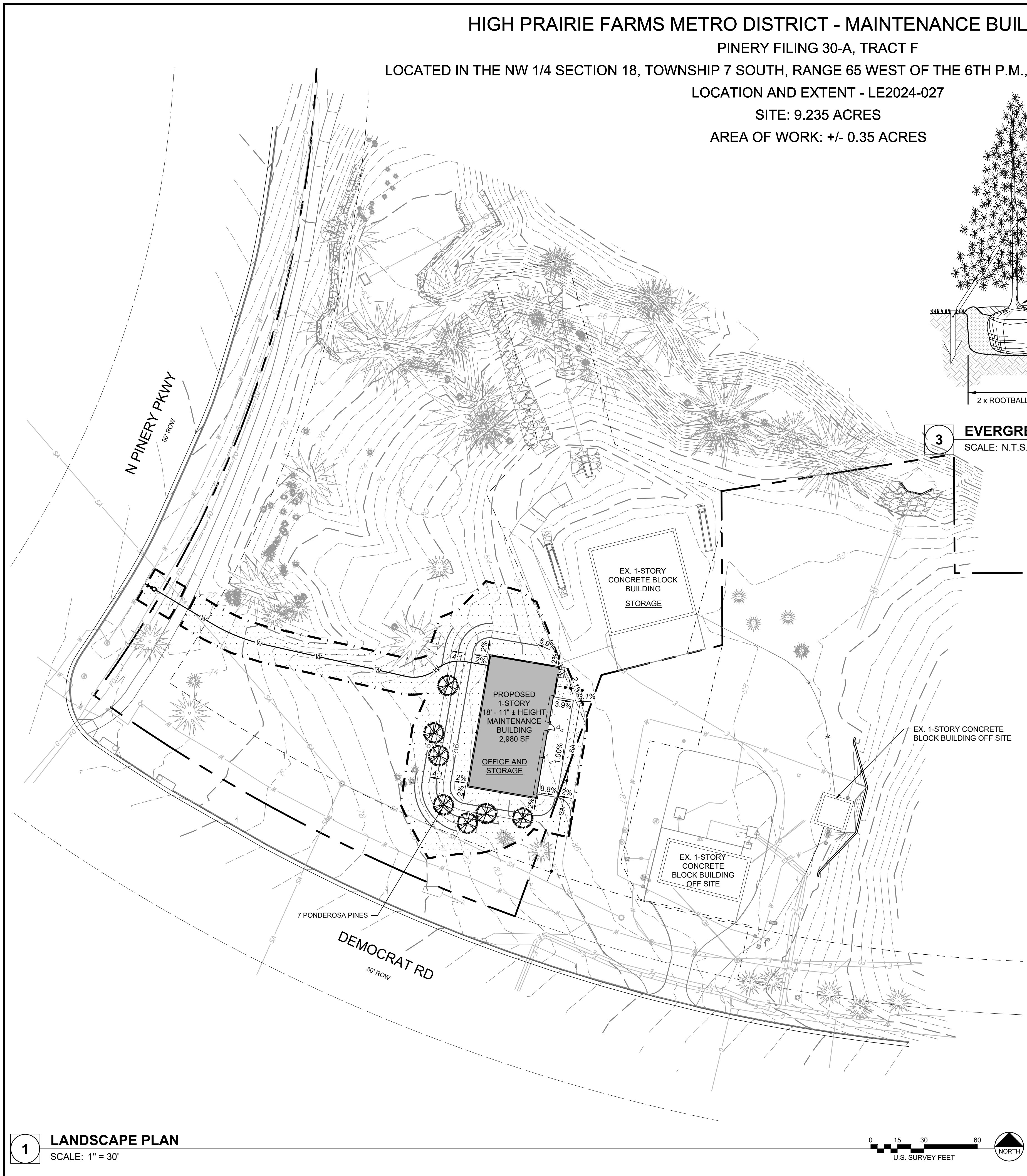
LANDSCAPE PLAN

SHEET NUMBER:

3

3 OF 8

PROJECT NO.: 0241109.00



3 EVERGREEN TREE PLANTING
SCALE: N.T.S.

SEED NOTES

- SUBMIT ALL SEEDING, MULCHING, AND WATER SCHEDULE SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR FINAL APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ESTABLISH A HEALTHY AND WEED FREE STAND OF GRASS.
- SOIL PREP: MINIMAL SOIL DISTURBANCE
- SEEDING: HYDROSEEDING WITH MINIMAL DISTURBANCE. ALL AREAS WILL BE HYDROSEEDED IN A TWO STEP PROCESS. HARROW ALL SEEDED AREAS BEFORE AND AFTER THE BROADCASTING OF SEED. FOLLOWING SEEDING, BROADCAST THE HYDROSLURRY CONTAINING MULCH, BINDER, AND SLOW RELEASE FERTILIZER.
- WATER: CONTRACTOR SHALL APPLY 1/2" OF WATER TO SEED AREAS, TWICE PER WEEK, FOR THREE WEEKS. CONTRACTOR TO SUPPLY ALL EQUIPMENT AND LABOR.
- RESEED AND MULCH BARE OR ERODED AREAS AT ONE (1) MONTH INTERVALS AS NECESSARY.

- DOUGLAS COUNTY PERMANENT SEED MIX AVAILABLE THROUGH:
ARKANSAS VALLEY SEED INC.
4300 N MONACO STREET
DENVER, CO 80216
(303) 320-7500
- ALL SEED APPLICATIONS SHALL BE HYDROSEEDED IN A TWO STEP PROCESS OVER THE DESIGNATED AREAS. SEE SEEDING SPECIFICATIONS. THE SLURRY MIX SHALL CONTAIN THE FOLLOWING:
- WOOD/CELLULOSE FIBER MULCH
- SLOW-RELEASE FERTILIZER
- ORGANIC BINDER

'DOUGLAS COUNTY PERMANENT SEED MIX'
FOR ELEVATIONS BETWEEN 3,000 - 8,000

SEEDING RATE: MANUFACTURERS REFERENCE - 9.2 LBS PLS/1 ACRE

HYDROSEED RECOMMENDATIONS - 1.5 LBS/1000SF

%	SCIENTIFIC NAME	COMMON NAME
10	ANDROPOGON GERARDII	BIG BLUESTEM, KAW
10	SORGHASTRUM NUTANS	YELLOW INDIANGRASS, CHEYENNE
10	PANICUM VIRGATUM	SWITCHGRASS, BLACKWELL
10	BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA, VAUGHN
10	PASCOPYRUM SMITHII	WESTERN WHEATGRASS, ARRIBA
10	BOUTELOUA GRACILIS	BLUE GRAMA, HACHITA
10	ELYMUS LANCEOLATUS	THICKSPIKE WHEATGRASS, CRITANA
10	SSP. LANCEOLATUS	
10	CALAMOVILFA LONGIFOLIA	PRAIRIE SANDREED, GOSHEN
10	STIPA VIRIDULA	GREEN NEEDLEGRASS, LODORM
5	ELYMUS TRACHYCAULUS	SLENDER WHEATGRASS, PRYOR
5	ELYMUS LANCEOLATUS	STREAMBANK WHEATGRASS, SODAR
	SSP. PSAMMOPHILUS	

- SEED ESTABLISHMENT NOTES**
- INSTALL PER SEED PROVEYOR'S AND/OR MANUFACTURER'S RECOMMENDATIONS.
 - THE LANDSCAPE CONTRACTOR SHALL SEED ALL NATIVE SEED AREAS AS SOON AS POSSIBLE AFTER COMPLETION OF GRADING OPERATIONS. SOIL PREPARATION MEASURES IN AREAS TO BE SEEDED SHALL BE COMPLETED PRIOR TO SEEDING.
 - FOR PROPER ESTABLISHMENT, SEED SHALL BE INSTALLED WHEN AT LEAST THREE MONTHS REMAIN IN THE GROWING SEASON. IF LESS THAN THREE MONTHS REMAIN IN THE GROWING SEASON AT THE TIME OF SEEDING, THE LANDSCAPE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER. THE IRRIGATION SYSTEM FOR SEEDED AREAS SHALL BE FULLY OPERATIONAL AT THE TIME OF SEEDING.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADDITIONAL CORRECTIVE MEASURES, AT HIS OWN COST, TO SATISFY ESTABLISHMENT REQUIREMENTS AND ENSURE TIMELY CLOSEOUT. THESE MEASURES MAY INCLUDE, AT THE OWNER'S OPTION, RESEEDING OF SPARSELY GERMINATED AREAS AND/OR INSTALLATION OF SOD IN ALL SEEDED AREAS.

LEGEND

- EX BOLLARD
- EX SIGN
- EX FIRE HYDRANT
- EX WATER MANHOLE
- EX WATER METER
- EX WATER VALVE
- EX WATER FAUCET
- EX SANITARY MANHOLE
- EX GAS MARKER
- EX TRANSFORMER
- EX GAS LINE
- EX WATER LINE
- PROPOSED WATER LINE
- EX SANITARY LINE
- PROPOSED SANITARY LINE
- EX STORM LINE
- EX CURB BOX INLET
- EX PROPERTY LINE
- EX LAND SECTION LINE
- EX EASEMENT
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EX FENCE LINE
- EX RIPRAP
- EX TREE
- EX GRAVEL
- EX ASPHALT
- EX CONCRETE
- EX CURB & GUTTER
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- DOUGLAS COUNTY PERMANENT SEED MIX
- LIMITS OF DISTURBANCE

LANDSCAPE NOTES

- COORDINATION: THIS LANDSCAPE ARCHITECTURAL SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE CIVIL, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS AND SPECIFICATIONS TO FORM COMPLETE INFORMATION REGARDING THIS SITE.
- COMPLIANCE: CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR, FROM DATE OF FINAL ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.
- COMPLETION AND MAINTENANCE:
 - FINAL ACCEPTANCE: WITHIN TEN DAYS OF CONTRACTOR'S NOTICE THAT THE ENTIRE PROJECT IS COMPLETE, THE L.A. SHALL REVIEW INSTALLATION. IF FINAL ACCEPTANCE IS NOT GIVEN, THE L.A. SHALL PREPARE A PUNCH LIST OF PENDING ITEMS. THE PUNCH LIST ITEMS SHALL BE COMPLETED BY THE CONTRACTOR WITHIN TEN CALENDAR DAYS FROM DATE ISSUED. SUBSEQUENT REVIEW AND APPROVAL SHALL SIGNIFY ACCEPTANCE.
 - MAINTENANCE: ALL LANDSCAPING SHALL BE MAINTAINED FROM INSTALLATION TO FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, ROLLING, REGRADING, REPLANTING, DISEASE AND INSECT PROTECTION.
- SITE CONDITIONS: LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS ARE CORRECTED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISHED GRADES AND POSITIVE DRAINAGE IN LANDSCAPE AREAS.
- DAMAGE AND CLEANING:
 - CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED DUE TO THIS WORK AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL CLEAN ALL AREAS DUE TO THIS WORK AND PROPERLY REMOVE ALL UNUSED MATERIALS FROM SITE.
- RIGHT OF REJECTION: OWNER/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AT ANY TIME. ALL PLANT MATERIALS SHALL MEET THE MINIMUM CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CONTRACTOR SHALL PROVIDE SAMPLES, SPECS., AND OR TAGS FOR ALL MATERIALS.

1 LANDSCAPE PLAN
SCALE: 1" = 30'



HIGH PRAIRIE FARMS METRO DISTRICT - MAINTENANCE BUILDING ADDITION

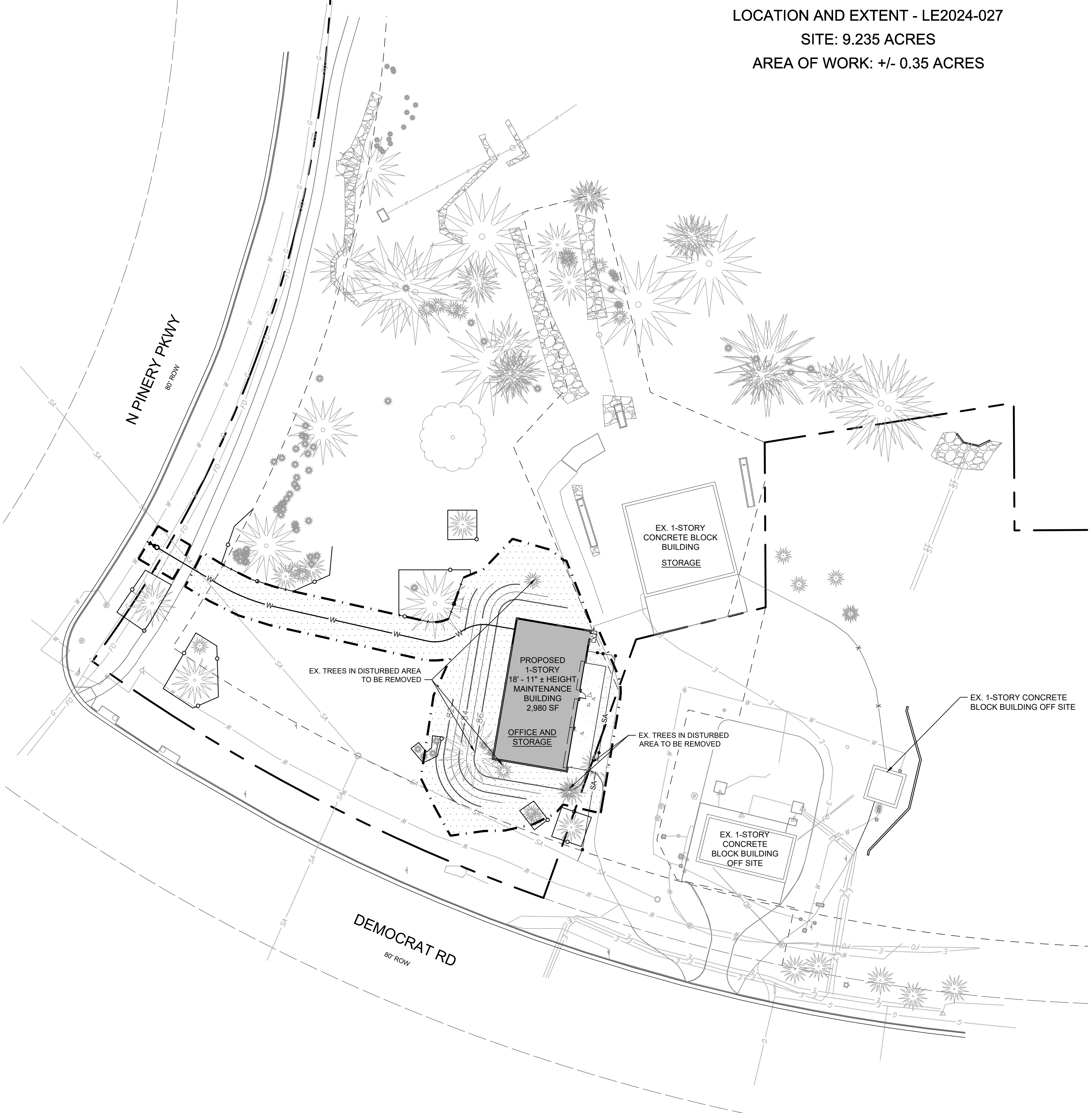
PINERY FILING 30-A, TRACT F

LOCATED IN THE NW 1/4 SECTION 18, TOWNSHIP 7 SOUTH, RANGE 65 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO

LOCATION AND EXTENT - LE2024-027

SITE: 9.235 ACRES

AREA OF WORK: +/- 0.35 ACRES

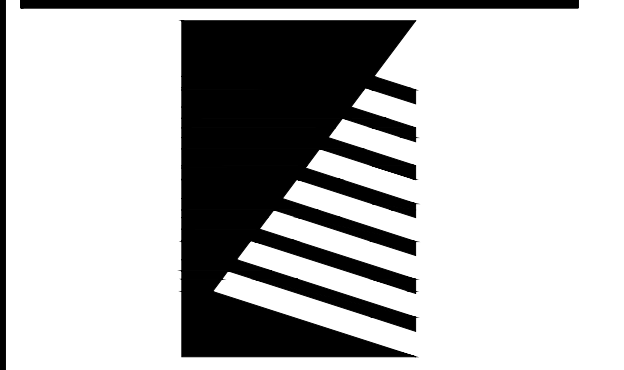


TREE PROTECTION NOTES

- CONTRACTORS SHALL COMPLY WITH THESE NOTES AND THE DOUGLAS COUNTY STANDARDS FOR ALL EXISTING TREES TO REMAIN.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE. CITY OF LAKEWOOD MAY STOP CONSTRUCTION IF TREE PRESERVATION MEASURES ARE NOT IN PLACE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 3 FEET TALL SNOW FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- CONSTRUCTION VEHICLES OR MACHINERY MAY NOT PASS BETWEEN TWO OR MORE EXISTING TREES IDENTIFIED FOR PRESERVATION IF THEIR CANOPIES ARE WITHIN 10 FEET OF TOUCHING. ADDITIONAL FENCING MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO HAVE AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) ON SITE IF SITE CONSTRUCTION EFFORTS REQUIRE REMOVAL OF EXISTING ROOTS OR BRANCH PRUNING.
- UNAUTHORIZED TREE REMOVAL OR DAMAGE IS SUBJECT TO REPLACEMENT EQUAL TO THE APPRAISED VALUE OF THE TREE LOST. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTATION OF ALL EXISTING TREES TO REMAIN, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO WATER, FERTILIZE AND ATTEND TO OTHER MAINTENANCE NEEDS OF EXISTING TREES TO MAINTAIN HEALTHY GROWTH THROUGHOUT THE CONSTRUCTION PERIOD. AN EARTH BERM MEASURING MINIMUM 6 FEET IN DIAMETER, AND 6 INCHES IN HEIGHT SHALL BE CONSTRUCTED AT THE BASE OF EACH TREE TO FUNCTION AS A TEMPORARY WATERING BASIN DURING THE CONSTRUCTION PERIOD. TREES SHALL BE WATERED ACCORDING TO WEATHER AND TREE SPECIES REQUIREMENTS.

LEGEND

	EX SIGN
	EX FIRE HYDRANT
	EX WATER MANHOLE
	EX WATER METER
	EX WATER VALVE
	EX WATER FAUCET
	EX SANITARY MANHOLE
	EX GAS MARKER
	EX TRANSFORMER
	EX GAS LINE
	EX WATER LINE
	PROPOSED WATER LINE
	EX SANITARY LINE
	PROPOSED SANITARY LINE
	EX STORM LINE
	EX CURB BOX INLET
	EX PROPERTY LINE
	EX LAND SECTION LINE
	EX EASEMENT
	EX FENCE LINE
	EX RIPRAP
	EX TREE TO REMAIN
	EX TREE TO BE REMOVED
	EX CURB & GUTTER
	PROPOSED GRAVEL
	PROPOSED CONCRETE
	DOUGLAS COUNTY PERMANENT SEED MIX
	LIMITS OF DISTURBANCE
	TREE PROTECTION FENCING



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ISSUE:
DATE: DESCRIPTION:

Project Status
NOT FOR CONSTRUCTION

PROJECT:
HIGH PRAIRIE FARMS METRO DISTRICT

HPFMD MAINTENANCE BUILDING

9455 DEMOCRAT ROAD,
PARKER, CO 80134

DATE: 11/08/2024
DESIGNED: GG
DRAWN: GG
REVIEWED: CP

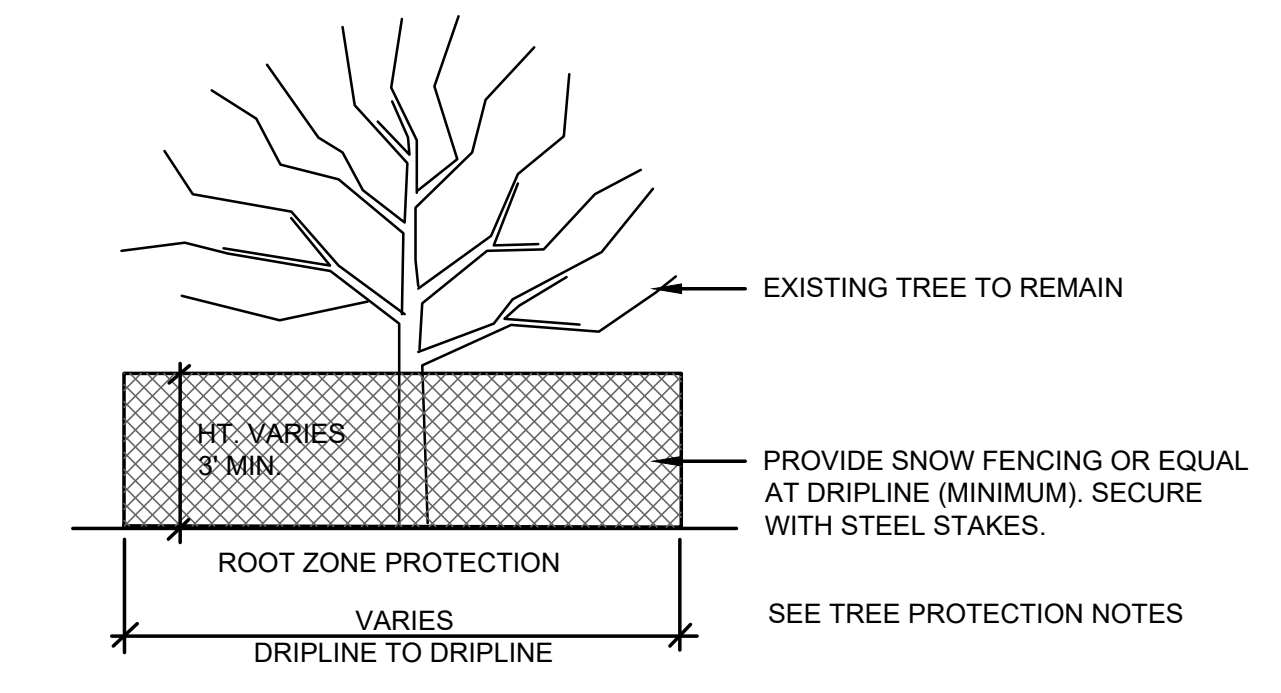
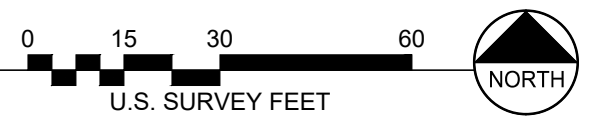
SHEET TITLE:
TREE PROTECTION PLAN

SHEET NUMBER:

4
4 OF 5

PROJECT NO.: 0241109.00

1 TREE PROTECTION PLAN
SCALE: 1" = 30'



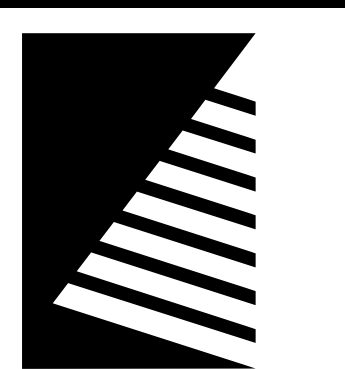
A EXISTING TREE PROTECTION
SCALE: N.T.S.

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HIGH PRAIRIE FARMS METRO DISTRICT - MAINTENANCE BUILDING ADDITION
 PINERY FILING 30-A, TRACT F
 LOCATED IN THE NW 1/4 SECTION 18, TOWNSHIP 7 SOUTH, RANGE 65 WEST OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO
 LOCATION AND EXTENT (LE2024-027)
 SITE: 9.235 ACRES
 AREA OF WORK: +/-0.35 ACRES

MATERIALS LEGEND (XXX)

CMU-1	SPLIT FACE CONCRETE MASONRY UNIT COLOR TO MATCH EXISTING BUILDING
ASR-1	ASPHALT SHINGLE ROOFING COLOR TO MATCH EXISTING BUILDING
SF-1	STOREFRONT ANODIZED ALUMINUM
PT-1	PAINT TAN TO MATCH EXISTING BUILDING
PT-2	PAINT DARK BRONZE TO MATCH EXISTING DOWNSPOUTS
PT-3	PAINT SAFETY YELLOW

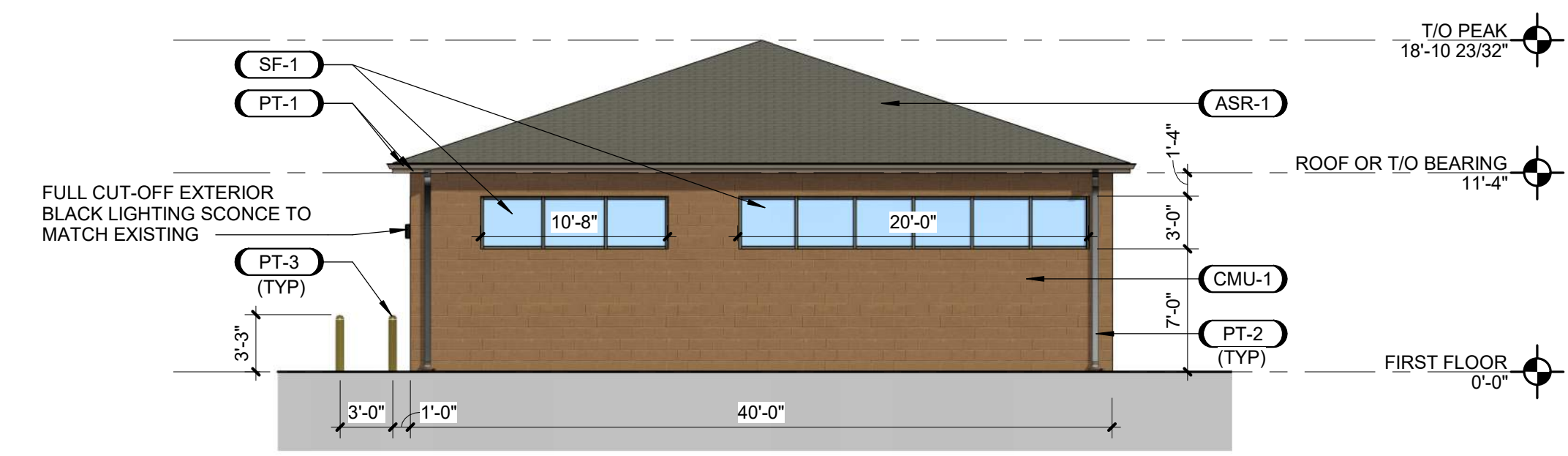


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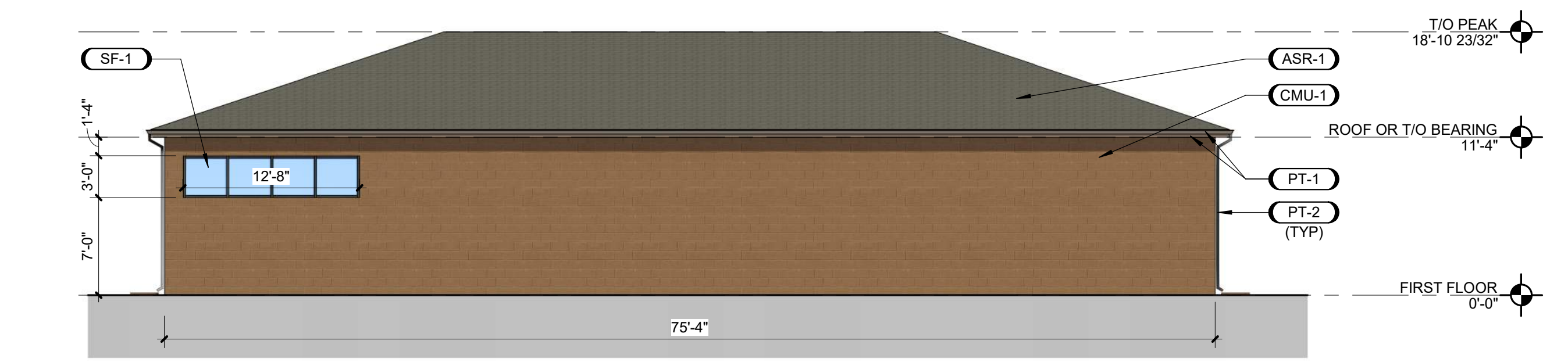
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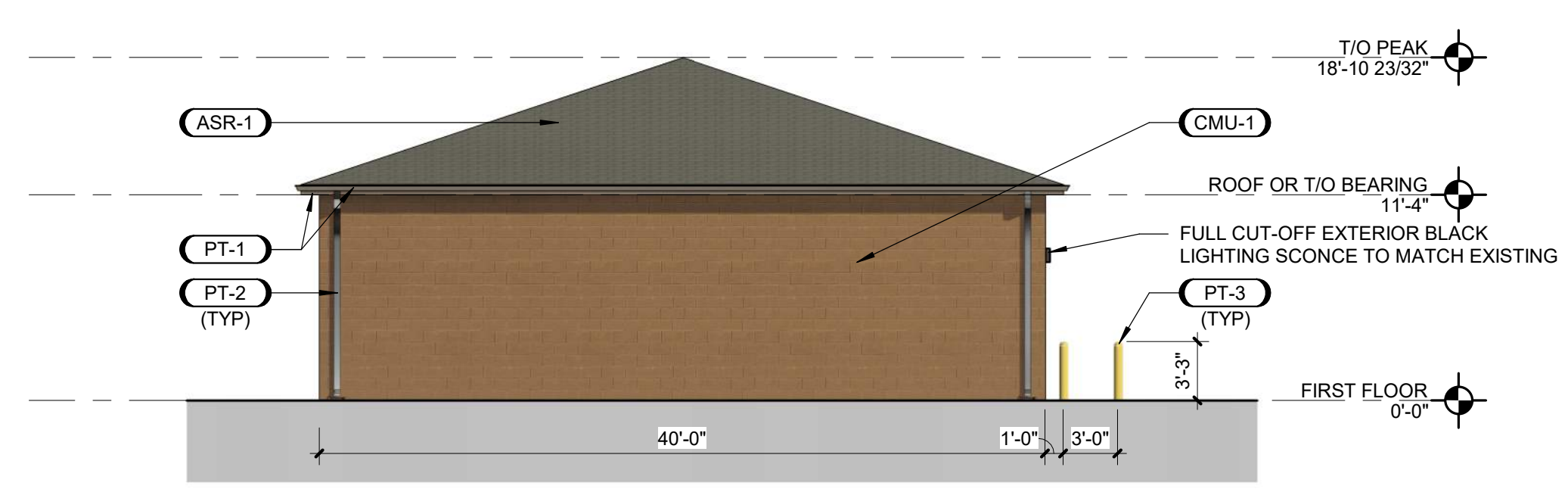
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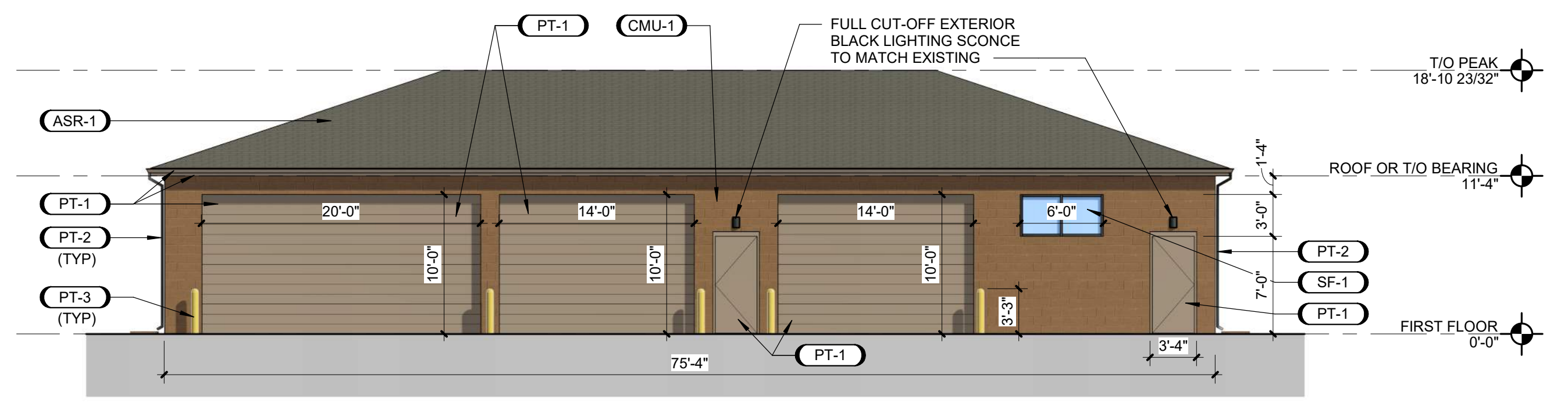
8 PROPOSED BUILDING COLORED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



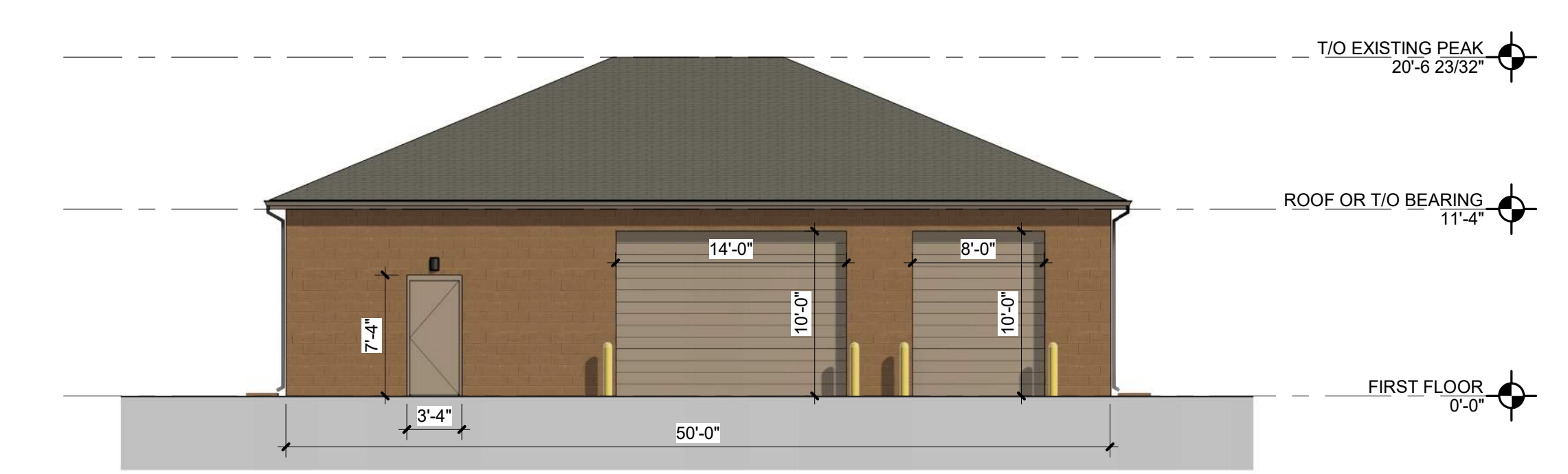
7 PROPOSED BUILDING COLORED WEST ELEVATION
 SCALE: 1/8" = 1'-0"



6 PROPOSED BUILDING COLORED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



5 PROPOSED BUILDING COLORED EAST ELEVATION
 SCALE: 1/8" = 1'-0"



1 EXISTING BUILDING COLORED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

Project Status
 NOT FOR CONSTRUCTION

PROJECT:
 HIGH PRAIRIE FARMS METRO DISTRICT

HPFMD MAINTENANCE BUILDING

9455 DEMOCRAT ROAD
 PARKER, CO 80134

DATE: 11/08/24
 DESIGNED: BH
 DRAWN: BH
 REVIEWED: BN

SHEET TITLE:
COLORED ELEVATIONS

SHEET NUMBER:

5
 5 OF 5

PROJECT NO.: 0241109.00