Referral Agency Response Report

Project Name: Sterling Ranch Filing 7A, Tract B

Project File #: LE2024-028

Agency	Date Received	Agency Response	Response Resolution		
Addressing Analyst 12/04/2024		Verbatim response: The proposed address for this facility is 8508 STERLING RANCH AVENUE. This address is not to be used for any purpose other than for plan review until after this project is approved. Proposed addresses are subject to changes as necessary for 911 dispatch and life safety purposes. Addresses are recorded by Douglas County following all necessary approvals. Contact DCAddressing@douglas.co.us or 303.660.7411 with questions.	Comments provided to applicant.		
AT&T Long Distance - ROW	11/26/2024	Summary of response letter: AT&T reviewed the request and noted there should be no conflicts with AT&T Long Lines.	No action required.		
Building Services	11/22/2024	Verbatim response: Electrical permit is required. Permit is required for structures (shelter, shed, etc)	Comments provided to applicant.		
CenturyLink		No response received.			
Chatfield Community Association		No response received.			
Comcast		No response received.			
Dominion Water and Sanitation District	12/06/2024	No comment.	No action required.		
Douglas County Parks and Trails		No response received.			
Engineering Services	12/06/2024	Summary of response letter: Engineering provided comments to address with the Construction Plans.	Comments provided to applicant.		
Office of Emergency Management		No response received.			
Plum Valley Heights HOA		No response received.			

Referral Agency Response Report

Project Name: Sterling Ranch Filing 7A, Tract B

Project File #: LE2024-028

Agency	Date	Agency Response	Response Resolution	
	Received			
South Metro Fire Rescue	12/04/2024	Summary of response letter: South Metro Fire Rescue (SMFR) has reviewed the provided documents and has no objection to the proposed Location and Extent. Applicants and Contractors are encouraged to contact SMFR regarding the applicable permit requirements for the proposed project.	Comments provided to applicant.	
Sterling Ranch Community Authority Board		No response received.		
Western Douglas County Citizens Alliance		No response received.		
Xcel Energy-Right of Way & Permits	11/27/2024	Summary of response letter: PSCo owns and operates existing natural gas and electric distribution facilities along Middle Fork Street.	Comments provided to applicant.	

Brett Thomas

Cc: Pam Choy (pc2914@att.com) <pc2914@att.com>; duanew cwc64.com <duanew@cwc64.com>; jt cwc64.com

<jt@cwc64.com>

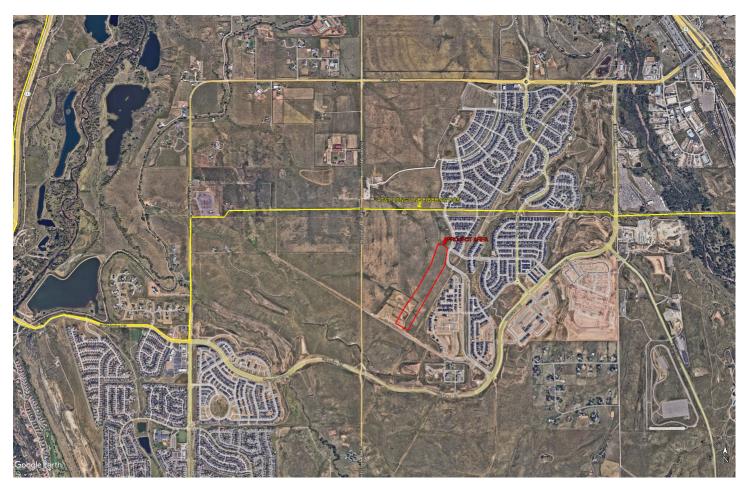
Subject: Burns Regional Park Littleton, Colorado Douglas County eReferral #LE2024-028

Hi Brett,

This is in response to your eReferral with a utility map showing any buried AT&T Long Line Fiber Optics near Burns Regional Park Littleton, Colorado. The Earth map shows the project area in red and the buried AT&T Long Line Fiber Optics in yellow. Based on the address and/or map you provided, there should be NO conflicts with the AT&T Long Line facilities.

Please feel free to contact us with any questions or concerns.

Ann Barnowski Clearwater Consulting Group Inc 120 9th Avenue South Suite 140 Nampa, ID 83651 Annb@cwc64.com



The attached google earth maps are intended to show approximate locations of the buried AT&T long line fiber optic cable. The maps are provided for informational purposes only. In no way should the maps be used for anything other than general guidelines as to where the fiber is or is not and any other use of these maps is strictly prohibited.

www.douglas.co.us

REFERRAL RESPONSE REQUEST - LOCATION AND EXTENT

Date sent: <u>November 2</u>	22, 2024	Comments due by: December 6, 2024			
Project Name:	Sterling Ranch Filing 7	A, Tract B – Location and Extent			
Project File #:	LE2024-028				
Project Summary:	The applicant, Sterling Ranch Community Authority Board, requests approval of a Location and Extent (L & E) to construct a portion of Burns Regional Park to include eight pickleball courts, seating, shade structures, and landscaping within a 1.16-acre area of Tract B. The site is located south of Sterling Ranch Avenue, between Middle Fork Street and Ordway Drive.				
	entified development p nment in the space prov	proposal located in Douglas County is enclosed. vided.			
☐ No Commen	t				
Please be advised of the following concerns:					
☐ See letter at	tached for detail.				
		" 202 660 7400 Eyrt 220E			
Agency: DC Publ:	ic works Eng.	Phone # : 303.660.7490 Ext. 3305			
Your Name: Bradley Jackson		Your Signature: Bradley A. Jackson			
(pleas	e print)	Date: 12/06/2024			
on Monday, Decemb		before the Douglas County Planning Commission pm . See the County website or contact the ow to participate.			
Sincerely,					

Brett Thomas, AICP, Chief Planner

www.douglas.co.us Engineering Services

MEMORANDUM

To: Brett Thomas, AICP, Chief Planner

From: Brad Jackson, PE, Development Review Supervisor

CC: Zeke Lynch, P.E., Assistant Director Public Works Engineering

DV File (DV24-495)

Date: 12/06/2024

RE: Sterling Ranch Filing 7A, Tract B – Location and Extent (L&E)

The Douglas County Department of Public Works Engineering has reviewed the Sterling Ranch Filing 7A, Tract B – Location and Extent (L&E) Project and has the following comments:

General Comments:

- 1. A Notice of Change (NOC) will be required to include this grading into the existing Grading, Erosion and Sediment Control (GESC) permit for Sterling Ranch Filing 7A.
- 2. Douglas County Public Works Engineering has no comments on the Drainage and Traffic conformance letters that were provided.

L&E Construction Plan Comments:

Sheet C3

3. Why is the midblock curb ramp shown with a ramp on the south side of the landing, this does not appear to match the approved Filing 7A construction plans.

Sheet C5

- 4. How will 6' walk tie into the mid-block ramp?
- 5. Provide details for the trench drains and area inlets.
- 6. Can the sidewalk on the southwest side of the site be flattened to be made in another ADA accessible access?

Sheet L1.0

7. Please show any site distance triangles for the roundabout from the Filing 7A construction plans to verify that none of the improvements are located within those site distance triangles.

If the applicant has any questions regarding these comments, please feel free to have them contact me directly. Thank you for the opportunity to review this request.

SOUTH METRO FIRE RESCUEFIRE MARSHAL'S OFFICE



Brett Thomas, AICP, Chief Planner Douglas County Department of Community Development, Planning Services 100 Third St Castle Rock Co 80104 303.660.7460 303.660.9550 Fax

Project Name: Sterling Ranch Filing 7A, Tract B – Location and Extent

Project File #: **LE2024-028**S Metro Review # REFSI24-00202

Review date: December 4, 2024

Plan reviewer: Aaron Miller 720.989.2246

aaron.miller@southmetro.org

Project Summary: The applicant, Sterling Ranch Community Authority Board, requests approval of a

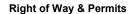
Location and Extent (L & E) to construct a portion of Burns Regional Park to include eight pickleball courts, seating, shade structures, and landscaping within a 1.16-acre area of Tract B. The site is located south of Sterling Ranch Avenue, between Middle Fork Street

and Ordway Drive.

Code Reference: Douglas County Fire Code, 2018 International Fire Code, and 2021 International Building

Code with amendments as adopted by Douglas County.

South Metro Fire Rescue (SMFR) has reviewed the provided documents and has no objection to the proposed Location and Extent. Applicants and Contractors are encouraged to contact SMFR regarding the applicable permit requirements for the proposed project.





1123 West 3rd Avenue Denver, Colorado 80223 Telephone: 303.285.6612 violeta.ciocanu@xcelenergy.com

November 27, 2024

Douglas County Planning Services 100 Third Street Castle Rock, CO 80104

Attn: Brett Thomas

Re: Sterling Ranch Filing 7A, Tract B, Case # LE2024-028

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the plans for **Sterling Ranch Filing 7A**, **Tract B** and currently has **no apparent conflict**. Please be aware PSCo owns and operates existing natural gas and electric distribution facilities along Middle Fork Street.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Violeta Ciocanu (Chokanu)
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy

Office: 303-285-6612 - Email: violeta.ciocanu@xcelenergy.com



December 11, 2024

Mr. Brett Thomas, AICP
Douglas County Community Development
100 Third Street
Castle Rock, CO 80104
bthomas@douglas.co.us

RE: LE2024-028, Burns Regional Park, Sterling Ranch Filing 7A, Trac B

Dear Mr. Thomas:

Thank you for providing the referral comments for the pickleball courts in Burns Regional Park within Sterling Ranch (Project File # located above). Thanks to our partnership agencies for their comments. Below you will see our comments on submissions with actionable items or concerns.

Douglas County Departments

- Addressing Analyst CAB will work with the department to verify addresses as indicated in their referral comments.
- Building Services CAB will work with the building department to obtain all required permits for this project.
- Engineering Services See the attached letter from Redland Engineering and updated documents addressing the comments from the Engineering team. We appreciate their thorough review and comments and look forward to working with them on this project.

<u>South Metro Fire Rescue</u> – CAB will work with SMFR on applicable permit requirements and will obtain all necessary permits as indicated in their referral comments.

<u>AT&T</u> – CAB acknowledges that there should be no conflict with this utility as indicated in their referral comments and will work with them if any are discovered.

<u>Xcel Energy</u> – CAB acknowledges that there should be no conflict with this utility as indicated in their referral comments and will work with them if any are discovered.

<u>Dominion WSD</u> – CAB will work with Dominion WSD for necessary inspections, meters, and documentation, as required.

Sincerely,

Jessi**c**a Towles

Director of Community Experience and Resident Support

cc: Gary Debus

December 11, 2024

Brad Jackson, PE
Development Review Supervisor
Douglas County Dept. of Public Works
Engineering Services
100 Third Street
Castle Rock, CO 80104

Re: Sterling Ranch Filing 7A, Tract B – Location and Extent (L&E)

Dear Mr. Jackson

We have received your comments for Sterling Ranch Filing 7A, Tract B L&E comments, and we offer the following responses:

General Comments:

- 1. A Notice of Change (NOC) will be required to include this grading into the existing Grading, Erosion and Sediment Control (GESC) permit for Sterling Ranch Filing 7A. Response: Thank you, comment acknowledged. Upon approval of the L&E, an NOC will be provided.
- 2. Douglas County Public Works Engineering has no comments on the Drainage and Traffic conformance letters that were provided.

Response: Thank you, comment acknowledged

L&E Construction Plan Comments:

Sheet C3

3. Why is the midblock curb ramp shown with a ramp on the south side of the landing, this does not appear to match the approved Filing 7A construction plans.

Response: According to the approved NOC #1 for Sterling Ranch Filing 7A North CDs, this ramp was approved with the ramp hatch.

Sheet C5

4. How will 6' walk tie into the mid-block ramp?

Response The proposed 6' walk has been re-aligned to avoid conflict with the midblock curb ramp. Widening the midblock ramp width is not feasible due to the steep nature of the receiving curb ramp.



5. Provide details for the trench drains and area inlets.

Response: Provided more detail to the callouts regarding the drains and area inlets, in addition to Note 1 that describes the installation.

6. Can the sidewalk on the southwest side of the site be flattened to be made in another ADA accessible access?

Response: The sidewalk on the southwest side of the site is ADA accessible, the other connections are not accessible.

Sheet L1.0

7. Please show any site distance triangles for the roundabout from the Filing 7A Construction plans to verify that none of the improvements are located within those site distance triangles.

Response: Sight distance triangles have been provided.

On behalf of Sterling Ranch Development Company and the Sterling Ranch project team, thank you for your time and consideration reviewing comment responses for Sterling Ranch Filing 7A, Tract B – L&E. If you have any questions, please contact me at bhart@redland.com or 720-283-6783 ext. 130.

Sincerely,

Brian Hart, PE Sr. Project Manager Associate Principal

STERLING RANCH FILING NO. 7A - BURNS PARK

LOCATION AND EXTENT PLAN

PORTION OF SECTIONS 30 AND 31, TOWNSHIP 6 SOUTH, RANGE 68 & 69, WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, COLORADO. SB2023-058, LE2024-028

PROJECT TEAM

APPLICANT

Sterling Ranch CAB
9350 Roxborough Park Road
Sterling Ranch, CO 80125
720.470.3356 voice
Contact: Jessica Towles
Email: Jessica.Towles@sterlingranchcab.com

TRAFFIC ENGINEER

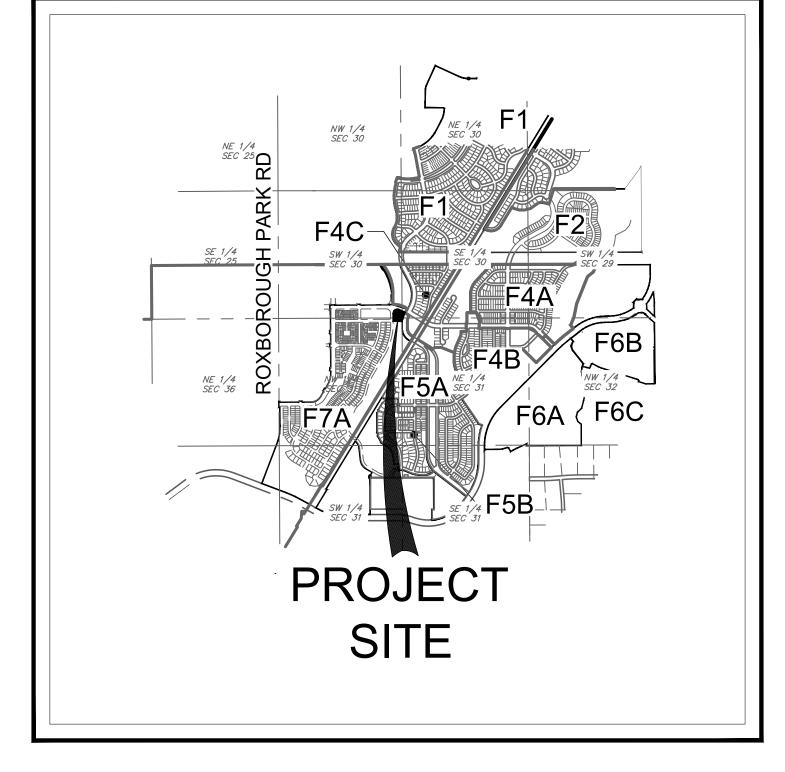
Fox Tuttle Transportation Group, LLC
1624 Market Street, Suite 202
Denver, Colorado 80202
303.652.3571 voice
Contact: Cassie Slade
Email: cassie.slade@foxtuttle.com

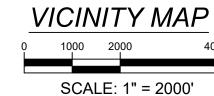
<u>CIVIL ENGINEER</u>

Redland
1500 West Canal Court,
Littleton, Colorado 80120
720.283.6783 voice
Contact: Brian Hart, P.E.
Email: bhart@redland.com

PLANNER/LANDSCAPE ARCHITECT

PCS Group Inc.
301 Kalamath Street, #202
Denver, Colorado 80211
303.531.4905 voice
Contact: Curtis Davidson
Email: curtis@pcsgroupco.com







SHEET INDEX

CIVIL PLANS

C1 C1 - COVER SHEET
C2 SITE PLAN
C3 SITE PLAN
C4 GRADING PLAN
C5 GRADING PLAN

LANDSCAPING PLANS BY OTHERS

L0.0 LANDSCAPE COVER SHEET
L0.1 LANDSCAPE NOTES
L0.2 LANDSCAPE SCHEDULE
L1.0 - L1.1 LANDSCAPE PLAN
L2.0 - L2.2 LANDSCAPE DETAILS

DESIGN ENGINEER'S SIGNATURE BLOCK:

BRIAN HART, PE #34735

REDLAND

THESE CONSTRUCTION PLANS FOR (STERLING RANCH FILING NO. 5A) WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF DOUGLAS COUNTY'S ROADWAY DESIGN AND CONSTRUCTION STANDARDS, STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA, AND THE GRADING, EROSION AND SEDIMENT CONTROL MANUAL.



You MUST CALL 811 (or 1-800-922-1987) for utility locates BEFORE DIGGING. This includes even small projects such as, but not limited to, planting trees or shrubs, sidewalk removal/installation, or fence post installation. Digging without calling can disrupt service to the surrounding neighborhoods. It may harm you and those around you, and potentially result in fines and repair costs.

ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

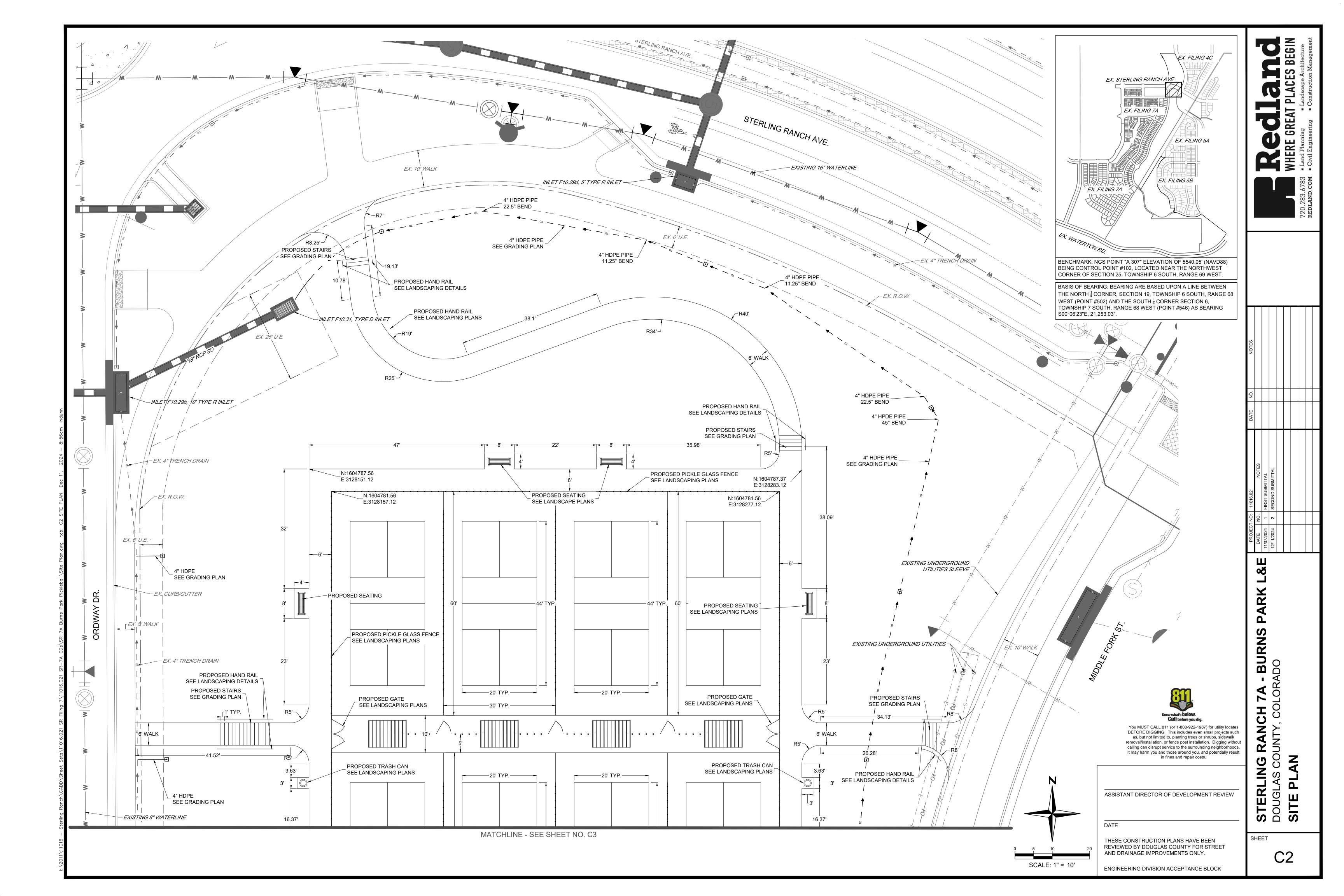
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WHERE GREAT PLACES BEG

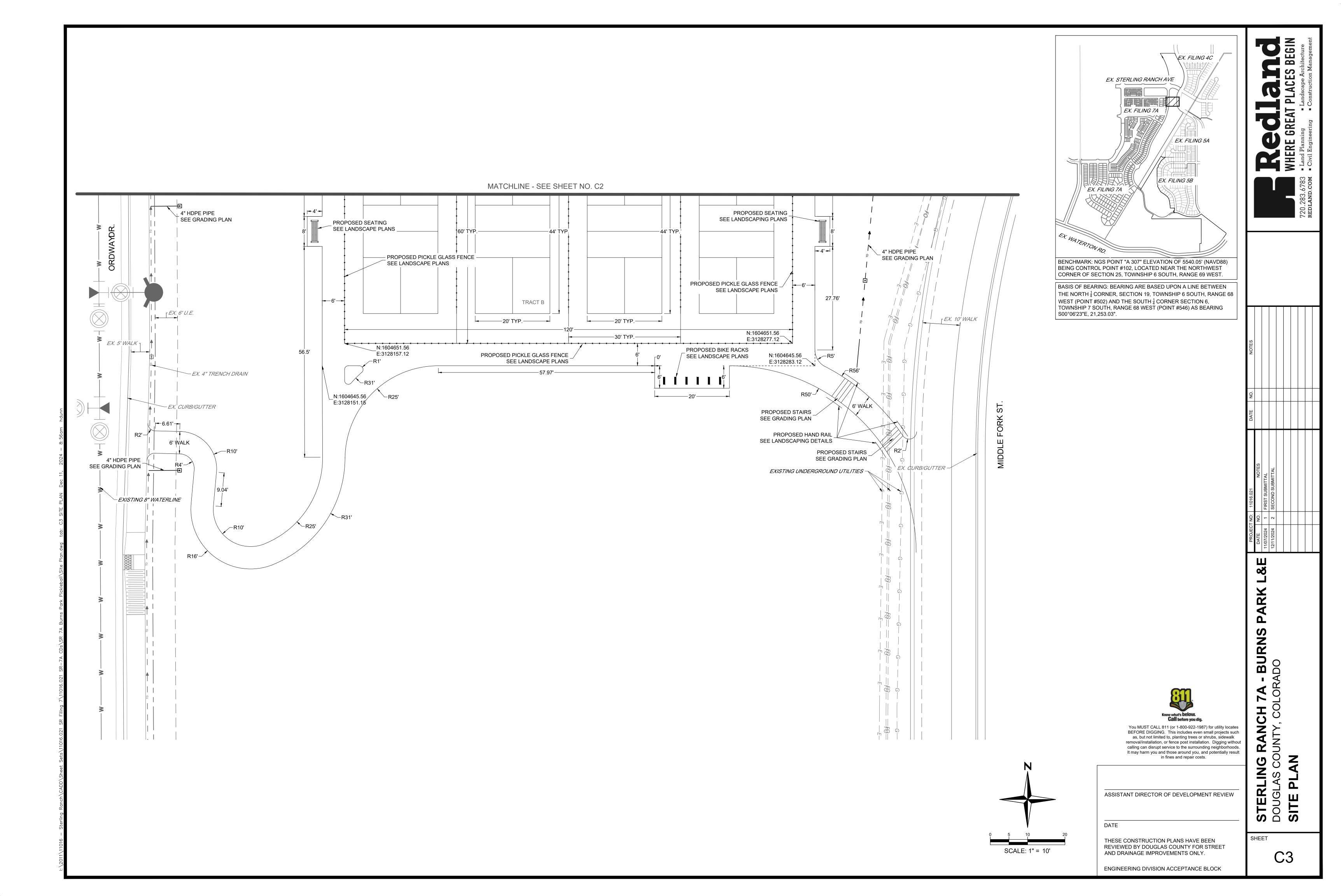
NOTES						
NO.						
DATE						
PROJECT NO: 11016.021	NOTES	FIRST SUBMITTAL	SECOND SUBMITTAL			
T NO:	NO.	1	2			
PROJEC ⁻	DATE	11/07/2024	12/11/2024			

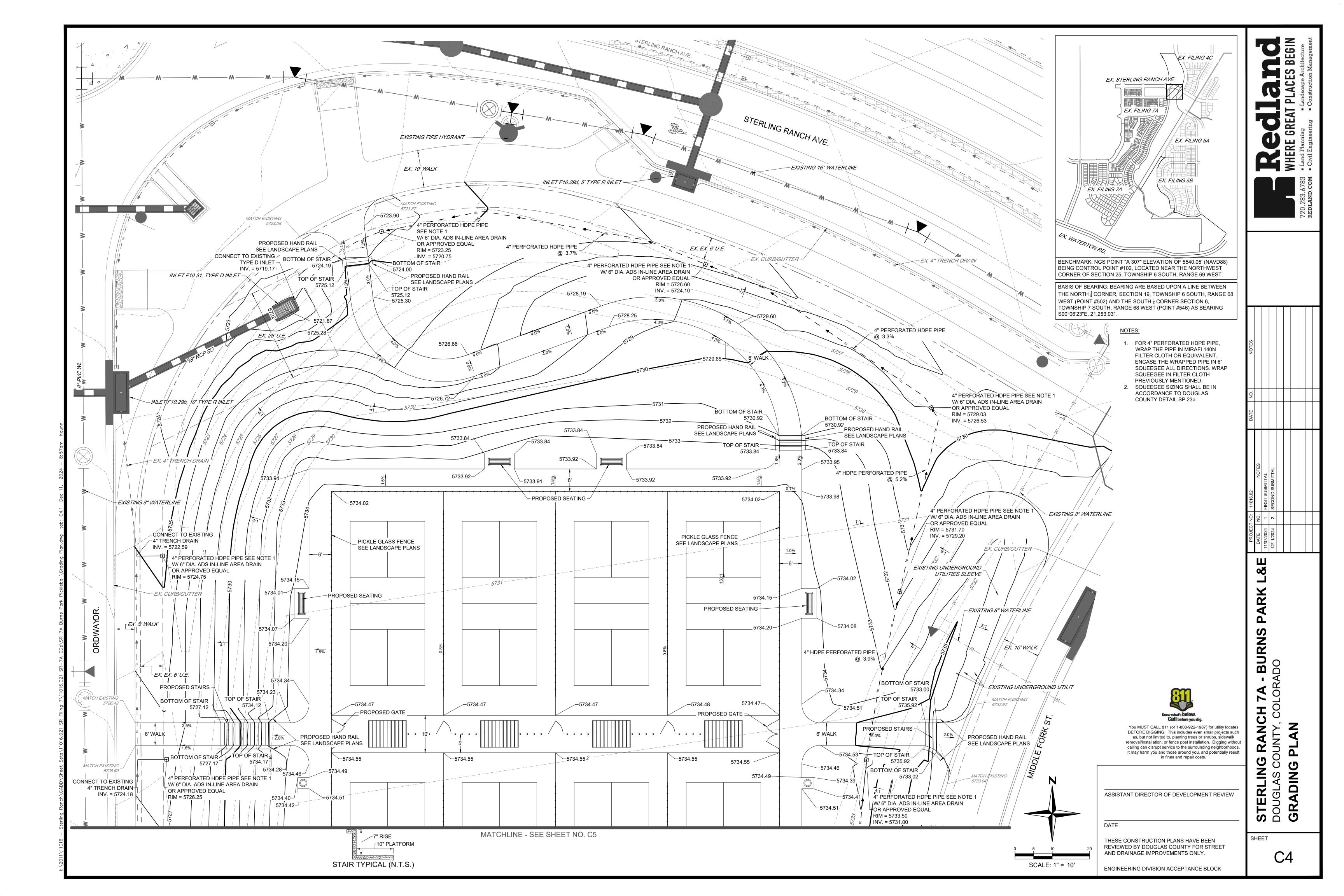
TERLING RANCH 7A - BURNS PARK OUGLAS COUNTY, COLORADO OVER SHEET

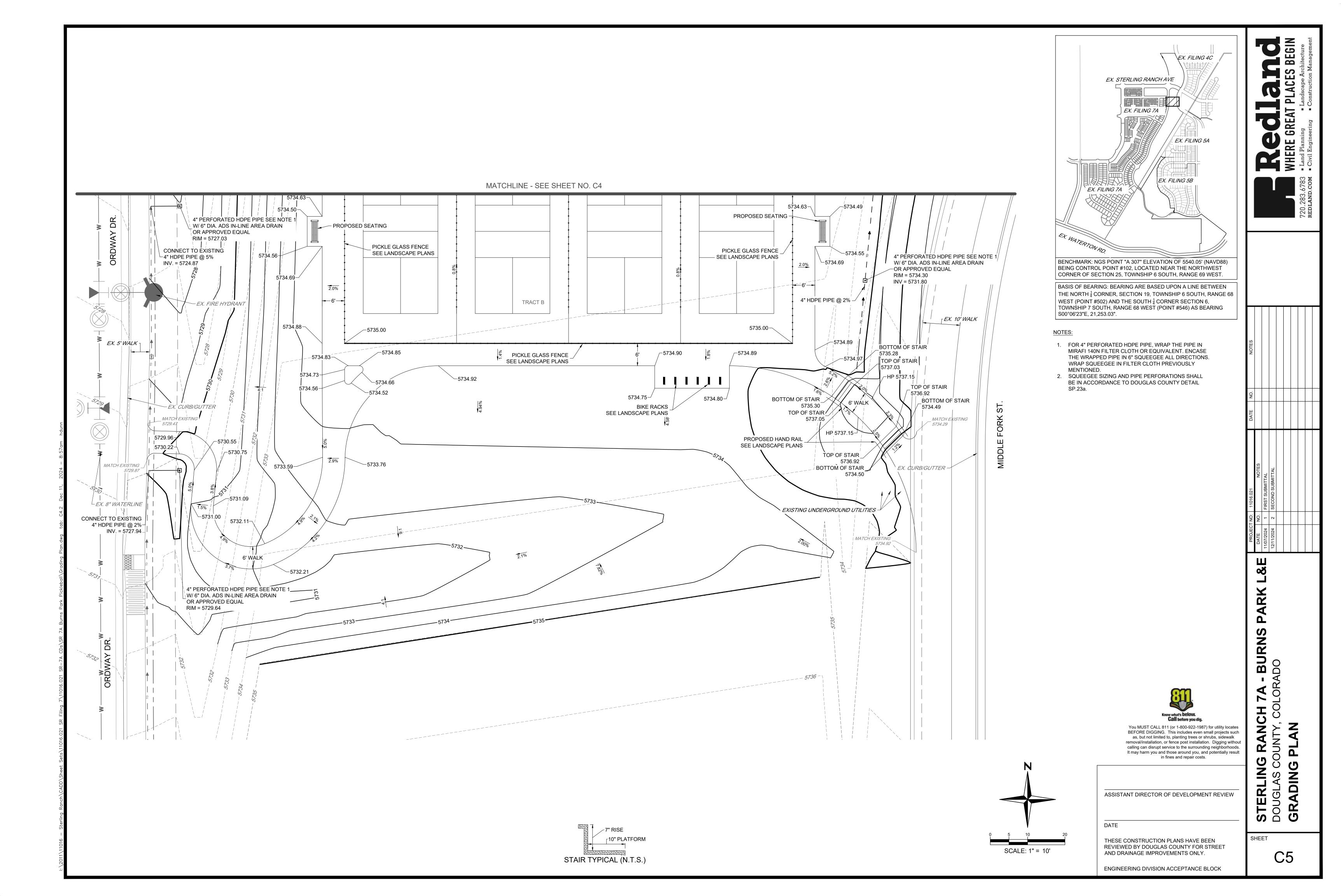
SHEET

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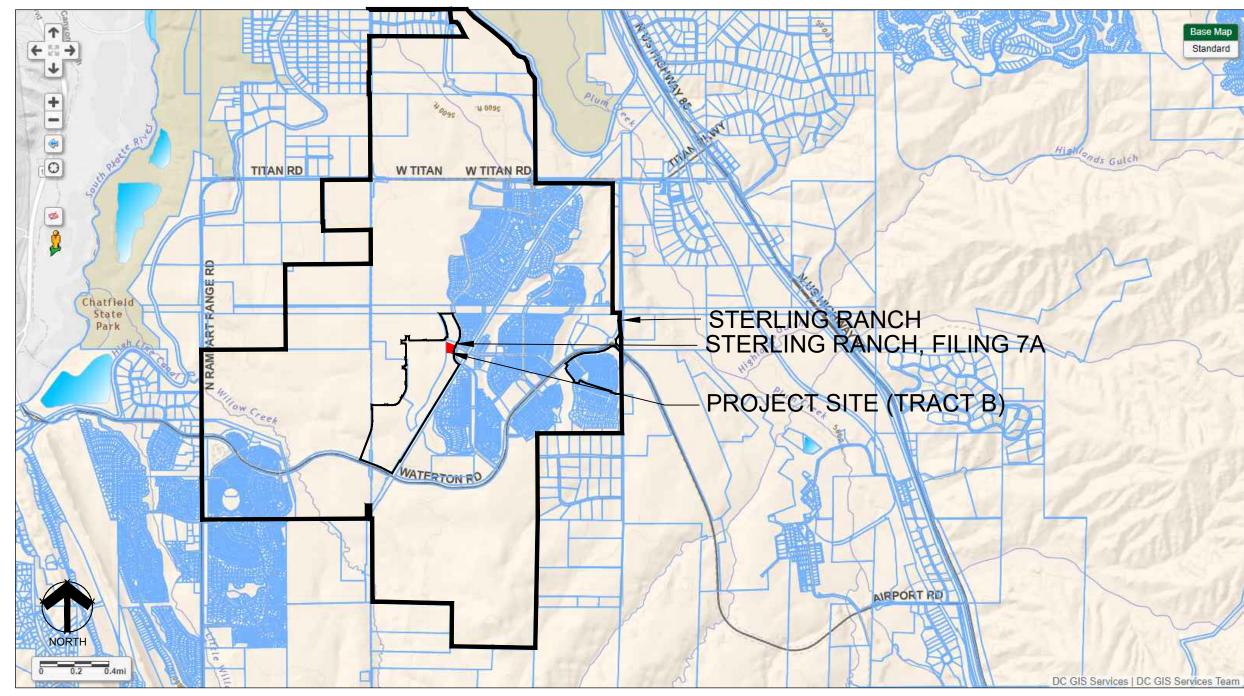




STERLING RANCH FILING NO. 7A - BURNS PARK

LOCATION AND EXTENT PLAN

PORTION OF SECTIONS 30 AND 31, TOWNSHIP 6 SOUTH, RANGE 68 & 69, WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, COLORADO



VICINITY MAP

PROJECT NOTES

- 1. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
- 2. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE
- 3. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL GIVE THE COUNTY ENGINEER TWENTY-FOUR(24)
- 4. ALL DAMAGED EXISTING CURB, GUTTER AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS. 5. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, CHERRY DRIVE SOUTH, DENVER COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3590.
- 6. IF DEWATERING IS TO BE USED TO INSTALL UTILITIES, THEN A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED IF DISCHARGE IS INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH, OR ANY WATERS OF THE UNITED STATES. PERMITEE IS RESPONSIBLE FOR ANY UTILITIES DISRUPTED BY THE CONSTRUCTION OF THIS ACCESS AND ALL EXPENSES INCURRED FOR THEIR REPAIR.
- 7. LOCATION OF EXISTING UTILITIES, EASEMENTS AND TOPOGRAPHY SHOWN ON THESE PLANS HAS BEEN PROVIDED BY OTHERS. PCS GROUP, INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 8. TEMPORARY EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR DURING CONSTRUCTION AS IDENTIFIED ON THE EROSION CONTROL PLAN. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 9. THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A.
- 10. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT PREPARED FOR THIS PROJECT AND APPROVED BY
- 11. ALL TRAFFIC CONTROL DEVICES, STRIPING AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE
- WORK. QUALITY CONTROL TEST RESULTS MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE COUNTY'S REQUIREMENTS. 13. THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE OWNER'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE COUNTY WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE OF THE PROJECT BY THE COUNTY.
- 14. PROPOSED SPOT ELEVATIONS AND CONTOURS ARE BASED ON OVERLOT GRADING BASE FILES AND EXISTING TOPO BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS GRADING INFORMATION OR EXISTING AS-BUILT GRADING CONDITIONS. CONTRACTOR TO VERIFY ACCURACY OF AS-BUILT GRADING WITH PROPOSED DESIGN AND NOTIFY THE LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.

LANDSCAPE SHEET INDEX

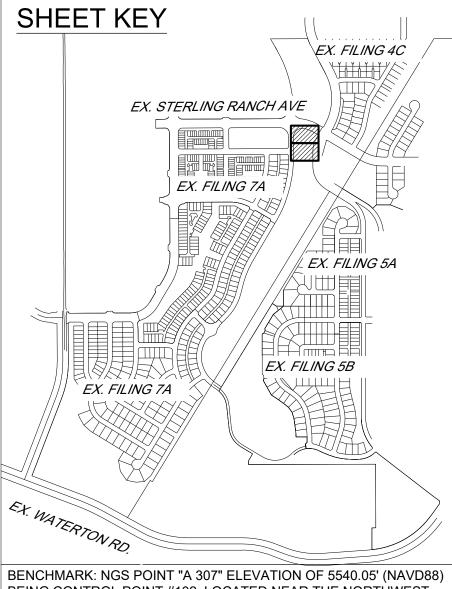
L0.0 - LANDSCAPE COVER SHEET

L0.1 - LANDSCAPE NOTES

L0.2 - LANDSCAPE SCHEDULE

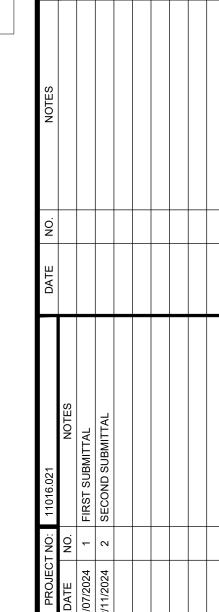
L1.0 - L1.1 LANDSCAPE PLAN

L2.0 - L2.2 LANDSCAPE DETAILS



BEING CONTROL POINT #102, LOCATED NEAR THE NORTHWEST CORNER OF SECTION 25. TOWNSHIP 6 SOUTH, RANGE 69 WEST.

BASIS OF BEARING: BEARING ARE BASED UPON A LINE BETWEEN THE NORTH ¹/₄ CORNER, SECTION 19, TOWNSHIP 6 SOUTH, RANGE 68 WEST (POINT #502) AND THE SOUTH $\frac{1}{4}$ CORNER SECTION 6, TOWNSHIP 7 SOUTH, RANGE 68 WEST (POINT #546) AS BEARING S00°06'23"E, 21,253.03".



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Call before you dig.

You MUST CALL 811 (or 1-800-922-1987) for utility locates BEFORE DIGGING. This includes even small projects such as, but not limited to, planting trees or shrubs, sidewalk removal/installation, or fence post installation. Digging without calling can disrupt service to the surrounding neighborhoods. It may harm you and those around you, and potentially result

ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

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SHEET

SHEET 1 OF 8

STERLING RANCH FILING NO. 7A - BURNS PARK

LOCATION AND EXTENT PLAN

PORTION OF SECTIONS 30 AND 31, TOWNSHIP 6 SOUTH, RANGE 68 & 69, WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, COLORADO

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR TO REFERENCE CIVIL ENGINEERING DRAWINGS REGARDING DRAINAGE AND EROSION CONTROL NOTES, DETAILS AND PROCEDURES. ALL WORK SHALL CONFORM TO LOCAL COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE
- CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS. CONTRACTOR SHALL VERIFY THAT FINE GRADING IS COMPLETE BEFORE COMMENCING WITH LANDSCAPE IMPROVEMENTS AND NOTIFY OWNER OF ANY DISCREPANCIES. CONTRACTOR SHALL ENSURE POSITIVE
- DRAINAGE AWAY FROM ALL STRUCTURES.
- A PRE-CONSTRCUTION MEETING IS REQUIRED BETWEEN THE LANDSCAPE CONTRACTOR, PROPERTY OWNER AND LANDSCAPE ARCHITECTURE PERSONNEL BEFORE START OF CONSTRUCTION. CONTRACTOR SHALL MINIMIZE ALL DISTURBANCE TO NON-IMPACTED AREAS.
- SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR SETUP OF BARRICADES, WARNING SIGNAGE, OR OTHER PROTECTIVE DEVICES IF ANY EXCAVATIONS ARE LEFT EXPOSED AFTER ON-SITE WORK HOURS.
- TOPSOIL IS TO BE STRIPPED & STOCKPILED ON-SITE FOR LATER USE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION OPERATIONS IN PUBLIC RIGHTS-OF-WAY.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OR LANDSCAPE PLANTING. CONTRACTOR SHALL HAND DIG ALL PLANTING PITS ADJACENT TO UTILITIES. IF UTILITIES ARE DAMAGED, REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED & AMENDED
- SOIL AMENDMENTS IN SEEDED AREAS IF SOIL TESTS INDICATE THAT AMENDMENTS ARE NEEDED, USE AN ORGANIC SLOW RELEASE AMENDMENT. SPREAD ORGANIC SOIL AMENDMENT MATERIALS, AT THE RATE INDICATED BY THE SOIL TEST, EVENLY OVER ENTIRE DISTURBED AREA AND THOROUGHLY INCORPORATE, BY MIXING, ROTOTILLING OR FINELY DISKING (MAX. 1" SIZE), TO A DEPTH OF SIX INCHES. ALL STONES, STICKS AND DEBRIS BROUGHT TO THE SURFACE SHALL BE REMOVED FROM THE SITE PROPERLY DISPOSED OF BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER. ALL SEED AREAS WILL BE RAKED AND ROLLED TO THE DESIRED FINISHED GRADES WITH GENTLY SLOPING SURFACES TO ADEQUATELY DRAIN ALL SURFACE WATER RUNOFF. THE FINISHED SURFACE SHALL BE EVEN AND UNIFORM AND NO DIRT CLODS LARGER THAN ONE INCH (1") IN DIAMETER SHALL APPEAR ON THE SURFACE. THE SOIL SURFACE SHALL BE SMOOTH, LOOSE AND OF FINE TEXTURE, AND BE FLUSH WITH ALL PAVING EDGES
- SOIL AMENDMENTS IN TURF AND SHRUB BED AREAS A MINIMUM 4 CUBIC YARDS PER 1,000 SF OF ORGANIC COMPOST AND GROUND AGED MANURE SHALL BE DISTRIBUTED ACROSS THE SOIL SURFACE OF ALL SOD AREAS AND SHRUB BEDS IN A UNIFORM 11/3" LAYER (6 CUBIC YARDS = 2 INCH)AND INCORPORATED INTO THE TOP 6 INCHES OF SOIL WITH A ROTOTILLER CAPABLE OF TILLING TO 6 INCHES IN DEPTH. SHRUB BEDS SHALL BE AMENDED THROUGHOUT THE ENTIRE BED PRIOR TO PLANTING, NOT JUST THE PLANTING HOLE.
- 16. ANY SUBSTITUTION OR ALTERATION OF PLANT OR LANDSCAPE MATERIALS IN LOCATION, SPECIES, TYPE, ETC. SHALL BE ALLOWED ONLY WITH APPROVAL OF THE LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
- 17. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN (AAN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- 18. ALL TREES IN TURF AND SEED AREAS TO RECEIVE MAX. 6' DIA. MULCH RING WITH 4" DPTH. OF SPECIFIED WOOD MULCH. NO STEEL EDGING IS REQUIRED AROUND TREE RING EDGES WITHIN TURF AREAS.
- 19. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN WATER OR SEWER SERVICE LINES AND A MINIMUM SEPARATION OF 10' BETWEEN WATER OR SEWER MAIN LINES. PROPOSED TREE LOCATIONS SHALL HAVE A MINIMUM SEPARATION OF 4' BETWEEN GAS LINES.
- 20. ALL PROPOSED IRRIGATED TURF AREAS SHALL BE SODDED WITH THE BLEND SPECIFIED IN THESE PLANS. SOD SHALL BE LAID ON A FIRM BED WITH TIGHT JOINTS AND WITHOUT VOIDS.
- 21. TREE WRAP TO BE APPLIED IN LATE FALL AFTER INSTALLATION, AND REMOVED THE FOLLOWING SPRING. REMOVE ANY STRING OR WIRE AROUND TREE TRUNKS AT TIME OF INSTALLATION. 22. HOME BUILDER INSTALLED STREET TREE LOCATIONS SHALL BE ADJUSTED TO ALLOW FOR A MINIMUM OF A 15' CLEARANCE TO STREET LIGHTS STREET TREE LOCATIONS SHALL ALSO BE ADJUSTED TO AVOID
- CONFLICT WITH DRIVEWAY, POSTAL BOXES & UTILITY LOCATIONS.
- 23. CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/OR THE COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE AND REPAIR.
- 24. MAINTAIN A MINIMUM THREE FOOT CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS OR OTHER FIRE SERVICE EQUIPMENT. NO TREES OR SHRUBS WILL BE ALLOWED WITHIN THIS AREA. 25. NO PLANT MATERIAL SHALL BE PLANTED WITHIN 10' OF ANY EXISTING OR PROPOSED ELECTRICAL SWITCHGEARS, TRANSFORMERS OR OTHER ELECTRICAL UTILITY EQUIPMENT. PLANT MATERIAL MAY BE FIELD ADJUSTED TO PROVIDE THE 10' CLEAR SPACE AND ACCESSIBILITY REQUIRED BY THE UTILITY'S OWNER/OPERATOR. PROPOSED PLANT SPECIES MAY BE SUBJECT TO CHANGE PENDING COMMERCIAL AVAILABILITY AT TIME OF CONSTRUCTION. ALL SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. OVERALL PLANT QUANTITIES & SIZES SHALL REMAIN AS
- INDICATED ON THE PLANT SCHEDULE. CONTRACTOR SHALL VERIFY THAT ANY SUBSTITUTED PLANT SPECIES ARE ACCEPTABLE TO THE LOCAL MUNICIPALITY OR GOVERNING JURISDICTIONS. 26. ALL DECIDUOUS TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A MINIMUM OF 8' MEASURED FROM THE FLOW LINE OF THE ADJACENT STREET. NO EVERGREEN TREES SHALL BE PERMITTED OR INSTALLED WITHIN THE SIGHT DISTANCE TRIANGLE.
- NO SHRUBS/ORNAMENTAL GRASSES OVER 30" IN HEIGHT SHALL BE PERMITTED WITHIN THE SIGHT DISTANCE TRIANGLE. 27. BEFORE ENTERING THE SITE, ALL MAJOR EQUIPMENT WILL BE CLEANED WITH A HIGH PRESSURE WATER SPRAY TO PREVENT THE SPREAD OF NOXIOUS WEEDS.
- PLANTING BEDS
- 28. ALL PROPOSED PLANTING BEDS SHALL CONTAIN THE SPECIFIED MULCH. NON-ORGANIC MULCHES (ROCK, ETC.) SHALL INCLUDE MIRAFI WEED BARRIER FABRIC OR EQUAL SECURED WITH PINS. OVERLAP FABRIC MIN. 24" AT EDGES.
- 29. ROCK MULCH SHALL BE '1½" CRUSHED GRANITE' FROM FRONT RANGE MATERIALS OR EQUAL. RIVER ROCK SHALL BE 1½" 3" MULTI-COLOR RIVER ROCK FROM PIONEER SAND OR APPROVED EQUAL. SWALE ROCK MIX (IF USED) SHALL CONSIST OF: 75% 11 WASHED RIVER ROCK', & 25% 5-12" BOULDER CREEK COBBLESTONE' FROM FRONT RANGE MATERIALS OR EQUAL
- 30. WOOD MULCH SHALL BE 'GORILLA HAIR' OR EQUAL SHREDDED CEDAR MULCH, 4" DEPTH.
- 31. EDGING BETWEEN TURF AND PLANTING BEDS SHALL BE 14-GAUGE, PERFORATED STEEL EDGING OR EQUIVALENT. ANY ALTERNATE EDGING MUST BE A ROLLED-TOP, CORROSION RESISTANT STEEL, PERFORATED PRODUCT. NO EDGING IS REQUIRED AGAINST HARDSCAPE/WALK AREAS OR AT TREE RING EDGES. CONCRETE CURBING/EDGING SHALL BE INSTALLED TO AVOID IMPEDING DRAINAGE. RE: DETAILS FOR INSTALLATION IN LOW DRAINAGE AREAS.
- 32. FOR TREES NOT IN PLANTING BEDS, ALLOW A 6'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY SPECIFIED WOOD MULCH & DEPTH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO FABRIC OR EDGER IS NECESSARY FOR TREE RINGS IN NATIVE AREAS.
- 33. ALL TREES IN TURF AREAS TO RECEIVE MAX. 6' DIA. MULCH RING WITH 4" DPTH. OF SPECIFIED WOOD MULCH AND INCLUDE WEED BARRIER FABRIC. NO STEEL EDGING IS REQUIRED AROUND TREE RING EDGES WITHIN TURF AREAS.

HARDSCAPE 34. REFER TO SITE PLANS & DETAILS FOR SPECIALTY CONCRETE LOCATIONS WHERE APPLICABLE.

- IRRIGATION 35. 1)PERMANENT UNDERGROUND IRRIGATION IS REQUIRED IN ALL LANDSCAPE AREAS, 2) TURF AREAS ARE ZONED SEPARATELY FROM BED AREAS, 3) CONTROLLER TO INCLUDE RAIN SHUT-OFF, 4) HYDROZONES
- WILL BE ON SEPARATE IRRIGATION ZONES ACCORDING TO WATER-DEMAND.
- 36. TURF & IRRIGATED NATIVE AREAS (WHERE APPLICABLE) SHALL BE IRRIGATED BY AUTOMATIC POP-UP SPRAY SYSTEM UNLESS OTHERWISE SHOWN ON THE IRRIGATION PLANS. SHRUBS & PLANTING BEDS SHALL BE IRRIGATED WITH DRIP/BUBBLER SYSTEM.
- 37. ALL TREES & SHRUBS OUTSIDE OF BEDS SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM
- 38. REFER TO IRRIGATION PLANS FOR DETAILED INFORMATION.
- WARRANTY & MAINTENANCE 39. CONTRACTOR IS TO MAINTAIN ALL PLANTINGS AND ASSOCIATED IRRIGATION SYSTEM INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE BY THE C.A.B AND AN OFFICIAL LETTER OF ACCEPTANCE HAVING BEEN WRITTEN FOR THE PROJECT. THIS MAINTENANCE SHALL INCLUDE PROPER WATERING OF ALL PLANTS, AND MOWING OF TURF/SEED AREAS IF NECESSARY.
- 40. SITE MUST BE CLEAN AND FREE OF ALL CONSTRUCTION DEBRIS BEFORE FINAL ACCEPTANCE. ALL PLANT MATERIAL WILL BE COVERED BY A TWO (2) CALENDAR YEAR WARRANTY. THE CONTRACTOR SHALL REPLACE DEAD. UNHEALTHY, OR OTHERWISE UNSATISFACTORY MATERIAL THROUGHOUT THIS
- PERIOD. THE WARRANTY SHALL BEGIN UPON SUBSTANTIAL COMPLETION OR ACCEPTANCE OF LANDSCAPING BY THE C.A.B.
- 42. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER OR ASSIGNS OR OWNERS ASSOCIATION. TREES AND SHRUBS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE C.A.B.) SHALL BE REPLACED WITHIN 1 MONTH OF NOTIFICATION. NON-LIVING GROUND COVERS, SUCH AS ROCK OR MULCH, MUST BE 100% INTACT AFTER ONE YEAR AND 100% INTACT THEREAFTER
- 43. LANDSCAPE AREAS WITHIN THE PROPERTY AND WITHIN THE ADJACENT RIGHT OF WAY SHALL BE MAINTAINED BY THE STERLING RANCH C.A.B. OR METRO DISTRICT

LANDSCAPE NOTES CONTINUED

- LOCATIONS FOR GFI'S AND ROUGH LOCATIONS FOR ACCENT LIGHTING (IF ANY) HAVE BEEN PROVIDED ON PLANS FOR PURPOSES OF COORDINATING POWER AND SLEEVING. FIXTURES AND SPECIFICATIONS HAVE NOT BEEN PROVIDED. FIXTURES TO BE COORDINATED WITH SIEMENS INDUSTRY, INC.
- 1.1. SIEMENS INDUSTRY, INC. TEL: 303-618-8514

DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARD NOTES (SECTION 3.2.3 OF THE DCRDCS)

- 1. THE DOUGLAS COUNTY ENGINEERING DIRECTOR SIGNATURE AFFIXED TO THIS DOCUMENT INDICATES THE ENGINEERING DIVISION HAS REVIEWED THE DOCUMENT AND FOUND IT IN GENERAL CONFORMANCE WITH THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND THE DOUGLAS COUNTY SUBDIVISION RESOLUTION OR ACCEPTED VARIANCES TO THOSE REGULATIONS. THE DOUGLAS COUNTY ENGINEERING DIRECTOR, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY, OTHER THAN STATED ABOVE, FOR THE COMPLETENESS AND/OR ACCURACY OF THESE DOCUMENTS. THE OWNER AND ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF COLORADO WHOSE STAMP AND SIGNATURE IS AFFIXED TO THIS DOCUMENT.
- 2. ALL CONSTRUCTION SHALL CONFORM TO DOUGLAS COUNTY STANDARDS. ANY CONSTRUCTION NOT SPECIFICALLY ADDRESSED BY THESE PLANS AND SPECIFICATIONS WILL BE BUILT IN COMPLIANCE WITH THE LATEST EDITION OF THE MOST STRINGENT OF THE FOLLOWING:
 - THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS
- THE COLORADO DEPARTMENT OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THE COLORADO DEPARTMENT OF TRANSPORTATION M STANDARDS
- 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DOUGLAS COUNTY ENGINEERING DIVISION AS APPLICABLE. THE COUNTY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND
- WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS. 4. THE CONTRACTOR SHALL NOTIFY THE DOUGLAS COUNTY ENGINEERING INSPECTION DIVISION, 303-660-7487, A MINIMUM OF 24-HOURS AND A MAXIMUM OF 72-HOURS PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY DOUGLAS COUNTY ENGINEERING INSPECTION WHEN WORKING OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ON ANY FACILITY THAT WILL BE CONVEYED TO THE COUNTY, URBAN DRAINAGE & FLOOD CONTROL DISTRICT, OR OTHER SPECIAL DISTRICT FOR MAINTENANCE (STORM SEWER, ENERGY DISSIPATERS, DETENTION OUTLET STRUCTURES, OR OTHER DRAINAGE INFRASTRUCTURES). FAILURE TO NOTIFY THE ENGINEERING INSPECTION DIVISION TO ALLOW THEM TO
- INSPECT THE CONSTRUCTION MAY RESULT IN NON-ACCEPTANCE OF THE FACILITY/INFRASTRUCTURE BY THE COUNTY AND/OR URBAN DRAINAGE. 5. CONSTRUCTION WILL NOT BEGIN UNTIL ALL APPLICABLE PERMITS HAVE BEEN ISSUED. IF A DOUGLAS COUNTY ENGINEERING INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED.
- THE PERMITTEE MAY COMMENCE WORK IN THE INSPECTOR'S ABSENCE. HOWEVER, DOUGLAS COUNTY RESERVES THE RIGHT NOT TO ACCEPT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION. THE LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: COLORADO 811, AT 1-800-922-1987 (WWW.COLORADO811.ORG). THE CONTRACTOR SHALL HAVE ONE (1) COPY OF THE PLANS SIGNED BY THE DOUGLAS COUNTY ENGINEERING DIRECTOR, ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION STANDARDS, AS AMENDED, AND ALL
- APPLICABLE PERMITS AT THE JOB SITE AT ALL TIMES. ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW: (SEE CIVIL PLANS)
- 9. A TRAFFIC CONTROL PLAN. IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SHALL BE SUBMITTED TO DOUGLAS COUNTY FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT APPLICATION. A RIGHT-OF-WAY USE AND CONSTRUCTION PERMIT WILL NOT BE ISSUED WITHOUT AN ACCEPTED TRAFFIC CONTROL PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION.
- 10. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR THREE (3) YEARS FROM THE DATE OF COUNTY ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND
- RE-ACCEPTANCE BY DOUGLAS COUNTY. 11. DOUGLAS COUNTY STANDARD DETAILS SHALL NOT BE MODIFIED. ANY NON-STANDARD DETAILS WILL BE CLEARLY IDENTIFIED AS SUCH.

GENERAL NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- 3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- 5. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE
- ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK. 6. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL
- LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR. 7. IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER
- ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED. 8. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE
- CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION. CONTRACTOR IS RESPONSIBLE TO PAY FOR. AND OBTAIN. ANY REQUIRED APPLICATIONS. PERMITTING. LICENSES. INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- 10. THE CONTRACTOR SHALL BE BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY PLAN LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM THE WORK.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES. ADJACENT OR EXISTING LANDSCAPE. ADJACENT OR EXISTING PAVING. OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- 13. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN
- PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS.OF·WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- 16. SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- 17. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- 18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC.
- ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS. 19. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE
- CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED. 20. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION
- PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK. 21. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO
- THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD. 22. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE
- REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK. 23. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR
- CONTRACTED COURSE OF WORK. 24. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT.OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS. 25. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE
- CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE. 26. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE
- CONCRETE IN THE STORM SEWER IS PROHIBITED. 27. OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED
- FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE. 28. DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- 29. MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS. THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- 30. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- 31. SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE. PRIOR TO INSTALLATION, SUBSTITUTIONS WILL BE CONSIDERED.

DOUGLAS COUNTY LANDSCAPE NOTES (SECTION 3.9 OF THE DCRDCS)

- 1. ALL TREES ARE TO BE PLANTED A MINIMUM OF 10' FROM THE FACE OF THE CURB OF ARTERIAL AND MAJOR COLLECTOR ROADWAYS AND A MINIMUM OF 6' FROM THE FACE OF THE CURB OF MINOR COLLECTOR AND LOCAL STREETS (LOCAL STREET TREE LAWNS ARE ALLOWED TO HAVE STREET TREES CENTERED WITHIN THE TREE LAWN). TREES LOCATED WITHIN 150' OF AN INTERSECTION WITH AN ARTERIAL ROAD MUST BE PLANTED A MINIMUM OF 10' FROM THE FACE OF CURB AND OUTSIDE ANY LINE-OF-SIGHT REQUIREMENTS. THE REQUIRED DISTANCE OF 150- FEET IS MEASURED FROM THE RIGHT-OF-WAY LINE OF THE ARTERIAL ROADWAY.
- 2. TREES OR LARGE SHRUBS SHALL NOT BE LOCATED OVER BURIED UTILITIES, WITHIN 10' OF STORM SEWER SYSTEM OR WITHIN THE LINE-OF-SIGHT AT INTERSECTIONS, ACCESSES OR PEDESTRIAN CROSSINGS.
- 3. ALL PLANTINGS LOCATED WITHIN THE LINE-OF-SIGHT WILL HAVE A MATURE HEIGHT OF NO MORE THAN 24" ABOVE THE ADJACENT GUTTER/FLOWLINE.
- 4. A "RIGHT-OF-WAY USE AND CONSTRUCTION" PERMIT IS REQUIRED PRIOR TO LANDSCAPING ACTIVITY WITHIN DOUGLAS COUNTY RIGHT-OF-WAY, TRACTS OR EASEMENTS. 5. ANY WALL OR MONUMENT, OVER FOUR FEET IN HEIGHT AND/OR UNDER A SURCHARGED CONDITION, OR HAS A RAIL ON TOP OF THE WALL REQUIRES A PERMIT FROM THE DOUGLAS COUNTY BUILDING DIVISION PRIOR TO CONSTRUCTION. STRUCTURAL PLANS FOR ANY WALL OVER FOUR (4) FEET IN HEIGHT (MEASURED FROM BOTTOM OF FOOTER TO TOP OF WALL) OR TIERED WALLS, AS DETERMINED BY THE DOUGLAS COUNTY BUILDING DIVISION, WILL BE SUBMITTED TO THE DOUGLAS COUNTY BUILDING DIVISION PRIOR TO THE ISSUANCE OF THE REQUIRED
- 6. A PERMIT MUST BE OBTAINED FROM THE DOUGLAS COUNTY ZONING DIVISION PRIOR TO THE INSTALLATION OF MONUMENTATION AND PLANTERS OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING THOSE WITHIN THE RIGHT-OF-WAY OF PRIVATE STREETS. AN ELECTRICAL PERMIT MUST BE OBTAINED FROM THE DOUGLAS COUNTY BUILDING DIVISION FOR LIGHTING OUTSIDE OF THE PUBLIC ROW, INCLUDING LIGHTING FOR MONUMENTATION AND PLANTERS.
- 7. A TRAFFIC CONTROL PLAN SHALL ACCOMPANY THE APPLICATION FOR A RIGHT-OF-WAY USE PERMIT. 8. TRENCH DRAINS SHALL NOT HAVE ANGLES GREATER THAN 45 DEGREES. ANGLES GREATER THAN 45-DEGREES WILL REQUIRE MULTIPLE FITTINGS.
- 9. MAXIMUM SPACING BETWEEN TRENCH DRAIN CLEAN OUTS SHALL BE 200 FEET. 10. TRENCH DRAINS SHALL NOT DISCHARGE INTO THE GUTTER/FLOWLINE.
- 11. TRENCH DRAIN CROSSINGS UNDER PAVEMENT SHALL BE INSTALLED PRIOR TO PAVING OR SHALL BE INSTALLED BY BORING UNDER ROADWAY.

DOUGLAS COUNTY SCREENING NOTES (2714.12)

BUILDING PERMIT. NO WALLS OR MONUMENTS ARE ALLOWED IN THE COUNTY ROW.

1. IF TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, ETC. ARE NOT SHOWN ON THE SITE IMPROVEMENT PLAN, ADDITIONAL LANDSCAPING/ SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DISCOVERED VIA THE SITE INSPECTION BY STAFF, MADE PRIOR TO ISSUANCE TO THE CERTIFICATION OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

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SHEET 2 OF 8

LOCATION AND EXTENT PLAN

PORTION OF SECTIONS 30 AND 31. TOWNSHIP 6 SOUTH, RANGE 68 & 69. WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, COLORADO

LANDSCAPE SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	<u>R00T</u>	CALIPER/HT.	HEIGHT WIDTH	IRR ZON
DECIDUO	OUS TREES						
GS	11	Gleditsia triacanthos `Shademaster` TM	Shademaster Locust	B & B	2"Cal	40` X 30`	Low
QM	4	Quercus macrocarpa	Burr Oak	B & B	2"Cal	60` x 40`	Low
GL	3	Tilia cordata `Greenspire`	Greenspire Littleleaf Linden	В&В	2"Cal	50` X 35`	Low
EVERGRE	EN TREES						
JWB	5	Juniperus scopulorum `Wichita Blue`	Wichita Blue Juniper	B & B	6`Ht	10`x6`	Low
ORNAME	NTAL TREES						
PCC	3	Pyrus calleryana `Capital`	Capital Callery Pear	B & B	1.5"Cal	25` x 10`	Low
PC	6	Pyrus calleryana `Chanticleer`	Chanticleer Pear	B & B	1.5"Cal	35` X 15`	Low
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT/WIDTH	IRR ZONE	
ORNAME	NTAL GRASSES						
FRG	70	Calamagrostis `Karl Foerster`	Feather Reed Grass	1 gal	3` X 2`	Low	
ET	27	Eragrostis trichodes	Sand Lovegrass	1 gal	3` X 4`	Low	
BOG	61	Helictotrichon sempervirens	Blue Oat Grass	1 gal	1.5` X 2`	Low	
DECIDUO	US SHRUBS						
CI	5	Cornus sericea `Isanti`	Isanti Redosier Dogwood	5 gal	5` X 5`	Low	
RSA	38	Perovskia atriplicifolia	Russian Sage	5 gal	5` X 4`	Low	
PPB	44	Prunus besseyi `Pawnee Buttes`	Pawnee Buttes Sand Cherry	5 gal	1.5` x 6`	Low	
RGL	31	Rhus aromatica `Gro-Low`	Gro-Low Fragrant Sumac	5 gal	2` X 5`	LOW	
EVERGRE	EEN SHRUBS						
JUB	57	Juniperus horizontalis `Blue Chip`	Blue Chip Juniper	5 gal	8" X 7`	Low	
JH	35	Juniperus horizontalis `Hughes`	Hughes Juniper	5 gal	1` X 6`	Low	

Mid Grass with Shrubs and Wildflowers

DROUGHT RESISTANT BLUEGRASS

Or Approved Equal

MOUNTAIN GRANITE 4,747 sf 3/4"-1.5" Angular Granite, 4" Dpth. RIVER ROCK, 1.5`` - 3`` DIA.

SWALE ROCK MIX

C 1,186 sf

(25%) 6"-12" BOULDERS WOOD MULCH, 'Gorilla Hair', 4" Dpth.

(75%)1.5" DIA. RIVER ROCKS

SEED SCHEDULE

NATIVE SEED MIX NO. 3 - MID GRASS MIX WITH SHRUBS AND WILDFLOWERS

DRILL SEED RATES OF 18.68 LBS OF PURE LIVE SEED (PLS) PER ACRE. PURITY AND GERMINATION TESTS FOR ALL SEED SHOULD BE LESS THAN ONE YEAR OLD. A COVER CROP OF REGREEN MUST BE ADDED IN ADDITION TO THE SEED MIX BELOW AT A RATE OF 5.0 PLS.

MID GRASS W/ SHRUBS AND WILDFLOWERS	RATES (PLS)	
BOTANICAL NAME:	COMMON NAME:	LBS/AC
PASCOPYRUM SMITHII	WESTERN WHEATGRASS	3.5
ELYMUS LANCEOLANTUS	THICK SPIKE WHEATGRASS	4.0
BOUTELOUA CURTIPENDULA BOUTELOUA GRACILIS	SIDEOATS GRAMA BLUE GRAMA	3.0
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1.0 2.0
CALAMOVILFA LONGIFOLIA	PRAIRIE SANDREED	1.2
SPOROBOLUS CRYPTANDRUS	SAND DROPSEED	0.02
CHRYSOTHAMNUS NAUSEOSA	RUBBER RABBITBRUSH	0.1
ARTEMISIA FRIGIDA	FRINGED SAGE	0.05
LIATRIS PUNCTATA PENSTEMON ANGUSTIFOLIUS	GAYFEATHER LARGE-FLOWERED PENSTEMON	0.8
ECHINACEA ANGUSTIFOLIA	CONEFLOWERED PENSTERION	0.4 0.8
GALLARDIA ARISTATA	BLANKETFLOWER	0.8
IPOMOSIS AGGRETATA	SCARLET GILLIA	0.2
RATIBIDA COLUMNIFERA	MEXICAN HAT	0.8
ACHILLEA MILLIFOLIUM VAR. OCCIDENTALIS		0.01
DALEA PURPUREA	PURPLE PRAIRIE CLOVER	1.5
	TOTALS:	18.68 PLS
		LBS/AC.

- SEEDING RATES ARE SPECIFIED IN TERMS OF "POUNDS OF PURE LIVE SEED (PLS) PER ACRE OR UNIT AREA. IN A MIX, EACH SPECIES CONTRIBUTES TO THE MIX, EXPRESSED AS A PERCENT OF THE RATE FOR A PURE STAND OF THAT SPECIFIC SPECIES. THE NUMBER OF SEEDS PER POUND VARIES BY SPECIES, SO PERCENTAGES BY WEIGHT ARE MIS-LEADING.
- IF A SPECIES IS NOT AVAILABLE, AN INCREASE OR SUBSTITUTION OF ANOTHER SPECIES MAY OCCUR ONLY WITH THE OWNER'S APPROVAL.

SEEDING ESTABLISHMENT NOTES:

- 1. SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE, RULES AND REGULATIONS AND FEDERAL SEED ACT. SEED SHALL BE EQUAL IN QUALITY TO THE STANDARDS FOR "CERTIFIED SEED" AND SHALL BE FURNISHED IN SEALED, UNOPENED, STANDARD CONTAINERS. SEED SHALL BE FRESH, CLEAN, PURE LIVE SEED WITH THE VARIETIES MIXED IN PROPORTIONS BY WEIGHT SHOWN AND MEETING THE MINIMUM PERCENTAGES OF PURITY AND GERMINATION SPECIFIED. THE CERTIFIED SEED TAB (BLUE TAG) SHOULD BE SUBMITTED TO THE OWNER'S REPRESENTATIVE BEFORE SEEDING.
- 2. SEED SHALL BE APPLIED AT A RATE SHOWN BY MIX. SEED SHALL PASS GOVERNMENT TEST OF GERMINATION OF EIGHTY PERCENT (80%) AND FOR PURITY OF NINETY PERCENT (90%). THE PURE LIVE SEED SHALL NOT BE LESS THAN SIXTY SEVEN ON ONE-HALF PERCENT (67.5%) FOR ANY ONE VARIETY, WITH THE AVERAGE OF THE MIXTURE, NO LESS THAN SEVENTY TWO PERCENT (72%). ALL SEED SHALL BE FREE OF POA ANNUA AND ALL NOXIOUS WEEDS AS LISTED BY THE COLORADO DEPARTMENT OF AGRICULTURE. IF SEED AVAILABLE ON THE MARKET DOES NOT MEET THE MINIMUM PURITY AND GERMINATION PERCENTAGES SPECIFIED. THE CONTRACTOR MUST COMPENSATE BY FURNISHING SUFFICIENT ADDITIONAL SEED TO EQUAL THE SPECIFIED PRODUCT.
- 3. FOR EACH SEED AREA, IF SOIL TESTS INDICATE THAT AMENDMENTS ARE NEEDED, USE AN ORGANIC SLOW RELEASE AMENDMENT. SPREAD ORGANIC SOIL AMENDMENT MATERIALS, AT THE RATE INDICATED BY THE SOIL TEST, EVENLY OVER ENTIRE DISTURBED AREA AND THOROUGHLY INCORPORATE, BY MIXING, ROTOTILLING OR FINELY DISKING (MAX. 1" SIZE), TO A DEPTH OF SIX INCHES ALL STONES. STICKS AND DEBRIS BROUGHT TO THE SURFACE SHALL BE REMOVED FROM THE SITE PROPERLY DISPOSED OF BY THE CONTRACTOR. AT NO ADDITIONAL COST TO THE OWNER. ALL SEED AREAS WILL THEN BE RAKED AND ROLLED TO THE DESIRED FINISHED GRADES WITH GENTLY SLOPING SURFACES TO ADEQUATELY DRAIN ALL SURFACE WATER RUNOFF. THE FINISHED SURFACE SHALL BE EVEN AND UNIFORM AND NO DIRT CLODS LARGER THAN ONE INCH (1") IN DIAMETER SHALL APPEAR ON THE SURFACE. THE SOIL SURFACE SHALL BE SMOOTH, LOOSE AND OF FINE TEXTURE, AND BE FLUSH WITH ALL PAVING EDGES.
- 4. CONTRACTOR SHALL USE APPROPRIATE MECHANICAL POWER WITH MULTIPLE SEED BOXES FOR THE DIFFERENT SIZED SEEDS IN EACH MIX (BRILLION SEEDER OR EQUAL) TO DRILL THE SEED INTO THE SEEDBED WHEREVER POSSIBLE. SEED SHALL BE SOWN TO A DEPTH OF ONE-QUARTER INCH (1") TO A MAXIMUM OF ONE-HALF INCH (1/2") DEPENDING ON THE MIX. DRILLING SHALL BE DONE IN 2 SEPARATE APPLICATIONS CROSSING THE AREA AT RIGHT ANGLES TO ONE ANOTHER TO GUARANTEE PROPER COVERAGE. ON SLOPING LAND, SEEDING OPERATIONS SHALL FOLLOW THE GENERAL CONTOUR. AREAS TOO SMALL TO DRILL SEED MAY BE BROADCAST BY HAND AND APPLICATION RATES SHALL BE DOUBLED. SEEDING OF ANY KIND WILL NOT BE PERMITTED WHEN WIND VELOCITY IS SUCH AS TO PREVENT UNIFORM SEED DISTRIBUTION. NO APPLICATION SHALL TAKE PLACE WITH THE PRESENCE OF FREE SURFACE WATER OR WHEN GROUND IS FROZEN OR CANNOT BE TILLED. ADDITIONAL TOPICAL OVER SEEDING MAY BE APPLIED TO PREVIOUSLY SEEDED AREAS IN ORDER TO ACHIEVE ADEQUATE GROUND COVER AND EROSION RESISTANCE.
- 5. SEEDED AREAS TO BE IRRIGATED DURING ESTABLISHMENT. FALL SEEDING WILL EMERGE WITH WARMING SOIL TEMPERATURES AND SHOULD BE IRRIGATED REGULARLY FOR AT LEAST THE FIRST 8 TO 10 WEEKS. WATER SPRING AND SUMMER SEEDING REGULARLY DURING THE FIRST 6 TO 8 WEEKS AFTER PLANTING FOR HIGHER GERMINATION AND SURVIVAL. WATER ENOUGH TO KEEP THE SOILS MOIST (SUCH AS EVERY OTHER DAY FOR 20-35 MINUTES) DEPENDING ON SOIL TEXTURE. DO NOT OVER WATER AS TO DROWN SEEDLINGS. WATERING IN THE MORNINGS IS PREFERRED TO REDUCE FUNGAL DISEASES. AFTER ABOUT 8 WEEKS OF IRRIGATION, YOU REDUCE WATERING TO WEEKLY DEPENDING ON RAINFALL.
- 6. MULCH WILL BE CRIMP MULCH AND SHALL BE INSTALLED IN ACCORDANCE WITH THE GESC PLAN AND GESC CRITERIA MANUAL.

WEED MANAGEMENT

BEFORE SEEDING, REMOVE EXISTING WEEDS BY PULLING, TILLING UNDER, CUTTING WITH A STRING TRIMMER, AND, APPLYING A GLYPHOSATE HERBICIDE SUCH AS ROUNDUP®*, OR BY A COMBINATION OF THESE METHODS. ONCE HERBICIDE IS ADDED, SEEDING MUST BE DELAYED PER THE TIME PERIOD DESCRIBED ON THE HERBICIDE LABEL. FOR ADDITIONAL WEED CONTROL AFTER SITE PREPARATION, THE AREA MAY BE IRRIGATED TO ENCOURAGE WEED GROWTH AND THEN SPRAYED WITH A HERBICIDE RATED AS SAFE FOR THE AREA. ONLY HERBICIDES RATED AS SAFE NEAR WATER SHALL BE USED NEAR WATER PER THE NPDES PERMIT. IN VERY WEEDY AREAS, AN INTEGRATED NOXIOUS WEED PLAN SHALL BE PREPARED UNDER THE DIRECTION OF THE OWNER'S REPRESENTATIVE AND IMPLEMENTED. ONCE THE SEEDS HAVE GERMINATED, FURTHER WEED CONTROL IS USUALLY NECESSARY. IF PRACTICAL, PULL ALL WEEDS AS

SOON AS THEY CAN BE IDENTIFIED. OTHER SUCCESSFUL TECHNIQUES ARE SPOT-SPRAYING WITH AN APPROPRIATE HERBICIDE OR SELECTIVELY CUTTING WEEDS WITH A STRING TRIMMER. BE SURE TO REMOVE WEEDS BEFORE THEY RESEED.

ONCE ESTABLISHED, NATIVE AREAS MAY BE MOWED TWICE A SEASON OR AS REQUIRED TO MINIMIZE WEED GROWTH. FURTHER MOWING

ADJACENT TO ROADWAYS AND PARK AREAS MAY BE REQUIRED AS SEASONAL DROUGHT AND FIRE CONDITIONS MAY DICTATE.]

ADDITIONAL WEED MANAGEMENT FOR MIXED GRASS/WILDFLOWER PLANTING: WEED MANAGEMENT IN THESE AREAS SHOULD BE DONE TO MINIMIZE INJURY TO GRASSES AND WILDFLOWERS. IN NEW SEEDED AREAS AVOID PULLING LARGE WEEDS AS IT CAN DISRUPT DESIRABLE SEEDLINGS. MOWING FREQUENTLY AT 6 INCHES IN HEIGHT HELPS KEEP WEEDS IN CHECK WHILE ALLOWING GRASSES AND WILDFLOWERS TO DEVELOP. A FLAIL MOWER IS RECOMMENDED IN LARGE AREAS FOR SHREDDING AND DISPERSING CLIPPINGS, AND STRING TRIMMERS ARE RECOMMENDED FOR SMALLER AREAS. MOWING FREQUENCY SHOULD BE DETERMINED BY WEED HEIGHT AND FLOWERING. DURING THE 2ND AND 3RD YEAR, SITE CAN BE MOWED LESS DEPENDING ON WEED GROWTH, BUT WEEDS SHOULD STILL BE SCOUTED. MOW TO 8 INCHES WHEN WEEDS APPEAR TO BE CLOSE TO SETTING SEED.

SEED TREATMENTS / PLANTING TIMING:

FALL PLANTING: AFTER SEPTEMBER 30TH UNTIL SOIL FREEZES, SOIL TEMPERATURE IS USUALLY COOL ENOUGH THAT SEEDS CAN BE PLANTED BUT WILL NOT GERMINATE. THE SEEDS OVERWINTER IN THE SOIL AND RECEIVE A NATURAL COOLING TREATMENT THAT GREATLY ENHANCES GERMINATION. SEEDS WILL EMERGE WITH WARMING SOIL TEMPERATURES THE FOLLOWING SPRING, HOWEVER WEEDS THRIVE UNDER SPRING CONDITIONS AS WELL. WEED MANAGEMENT WILL BE CRITICAL IN THE SPRING FOR FALL PLANTINGS.

EARLY TO LATE SPRING PLANTING: PRAIRIE WILDFLOWERS AND GRASSES HAVE A SEASONAL DORMANCY THAT CAN BE OVERCOME WITH A MOIST COOLING TREATMENT (SIMULATING WINTER). SEEDS PLANTED IN THIS TIME PERIOD SHALL BE TREATED AT 40 DEGREES F WITH SLIGHT MOISTURE FOR 45-60 DAYS PRIOR TO SEEDING IN THE SPRING OR, THE CONTRACTOR SHALL HAVE THE SEED SUPPLIER PRE-TREAT THE SEED FOR SPRING SEEDING.

SUMMER PLANTING: AFTER MID-JUNE, SEEDING MUST BE COOL MOIST TREATED AND IRRIGATED REGULARLY TO SUPPORT SEEDLING SURVIVAL

SEED SPECIFICATIONS

SITE PREPARATION

- 1. TOPSOIL (TOP 6 TO 12 INCHES OF SOIL FREE OF DEBRIS) SHALL BE SALVAGED WHEN MOIST, NOT WET, AND STOCKPILED IN SHALLOW ROWS.
- ALL STORED TOPSOIL SHALL BE MONITORED AND PERIODICALLY TILLED FOR WEED CONTROL
- 3. ALL SITE PREPARATION METHODS SHOULD BE DONE ACROSS THE SLOPE TO PREVENT SOIL EROSION FROM STORM WATER SHEETING. 4. SOIL SCARIFICATION AT A DEPTH OF SIX INCHES IN THE FORM OF DISCING, TILLAGE OR CHISELING WILL BE COMPLETED PRIOR TO SEEDING.
- 5. AFTER SOIL SCARIFICATION, TOPSOIL SHALL BE REPLACED.
- 6. AFTER REPLACEMENT OF TOP SOIL, WAIT SEVERAL WEEKS DURING GROWING SEASON FOR SURFACE WEEDS TO EMERGE, THEN APPLY A GLYPHOSATE TREATMENT TO ELIMINATE GROWING
- WEEDS AND LIMIT DISTURBING THE SOIL SURFACE 7. ALL SITES MUST BE FREE FROM NON-NATURAL MATERIALS SUCH AS OLD WATER LINES, LITTER AND BUILDING MATERIALS.

RECLAMATION PROCEDURE

- 8. NATIVE SEED MIX AS SPECIFIED IN THE SEED SCHEDULE WILL BE USED.
- 9. FOR SLOPES AT OR GREATER THAN 3:1, SEEDING BY HAND OR BROADCAST SPREADER MAY BE DONE WITH THE APPROVAL FROM THE CAB, BROADCAST SEEDING RATES MUST DOUBLE THE DRILL SEEDING RATES.
- 10. APPLICATION OF A SOIL AMENDMENT TO BE DETERMINED THROUGH SOIL TESTS AT AN ACCREDITED SOIL TESTING LAB KNOWLEDGEABLE IN NATIVE SEEDING REQUIREMENTS. IF NEEDED, ADD ONLY SLOW-RELEASE ORGANIC AMENDMENTS AT THE RATE RECOMMENDED BY THE MANUFACTURER.
- 11. SEED MUST BE PLANTED WITH A DRILL THAT IS SPECIFICALLY DESIGNED TO ACCOMMODATE VARIABILITY IN SIZE AND PHYSICAL CHARACTERISTICS OF NATIVE RANGELAND GRASS SEEDS. RECOMMEND TRAUX BRILLION DROP SEEDER OR SIMILAR TO ENSURE OPTIMAL SEED/SOIL CONTACT AND DEPTH. DROP SEEDER NEEDS MULTIPLE SEED BOXES FOR LIGHT GRASS/WILDFLOWER SEEDS, HEAVIER WILDFLOWER SEEDS, AND BEARDLESS GRASS SEEDS TO BE SOWN ALL TOGETHER.
- 12. DRILL DEPTH BANDS SHOULD BE PLACED 1/2" TO 1/2" BELOW THE SOILS SURFACE AND SPACED NO GREATER THAN SEVEN INCHES APART.
- 13. PACKER WHEELS WILL BE USED TO ENSURE SOIL TO SEED CONTACT.

EROSION CONTROL BLANKETS

14. BLANKETS TO BE APPLIED ON SLOPES GREATER THAN 4:1 AND TO CONFORM TO DOUGLAS COUNTY STANDARDS. EROSION CONTROL BLANKET INSTALLATION AND MATERIAL SHALL MATCH EROSION CONTROL BLANKET DETAIL IN THE GESC PLAN WITH THE EXCEPTION THAT THE SEED MIX SPECIFIED IN THESE LANDSCAPE PLANS SHALL BE USED. WHERE MATERIAL TYPE IS NOT SPECIFIED, BLANKET SHALL BE 30% COCONUT FIBERS, 70% CERTIFIED WEED FREE AGRICULTURAL STRAW MANUFACTURED INTO A CONTINUOUS MATRIX.

RECLAMATION STANDARDS

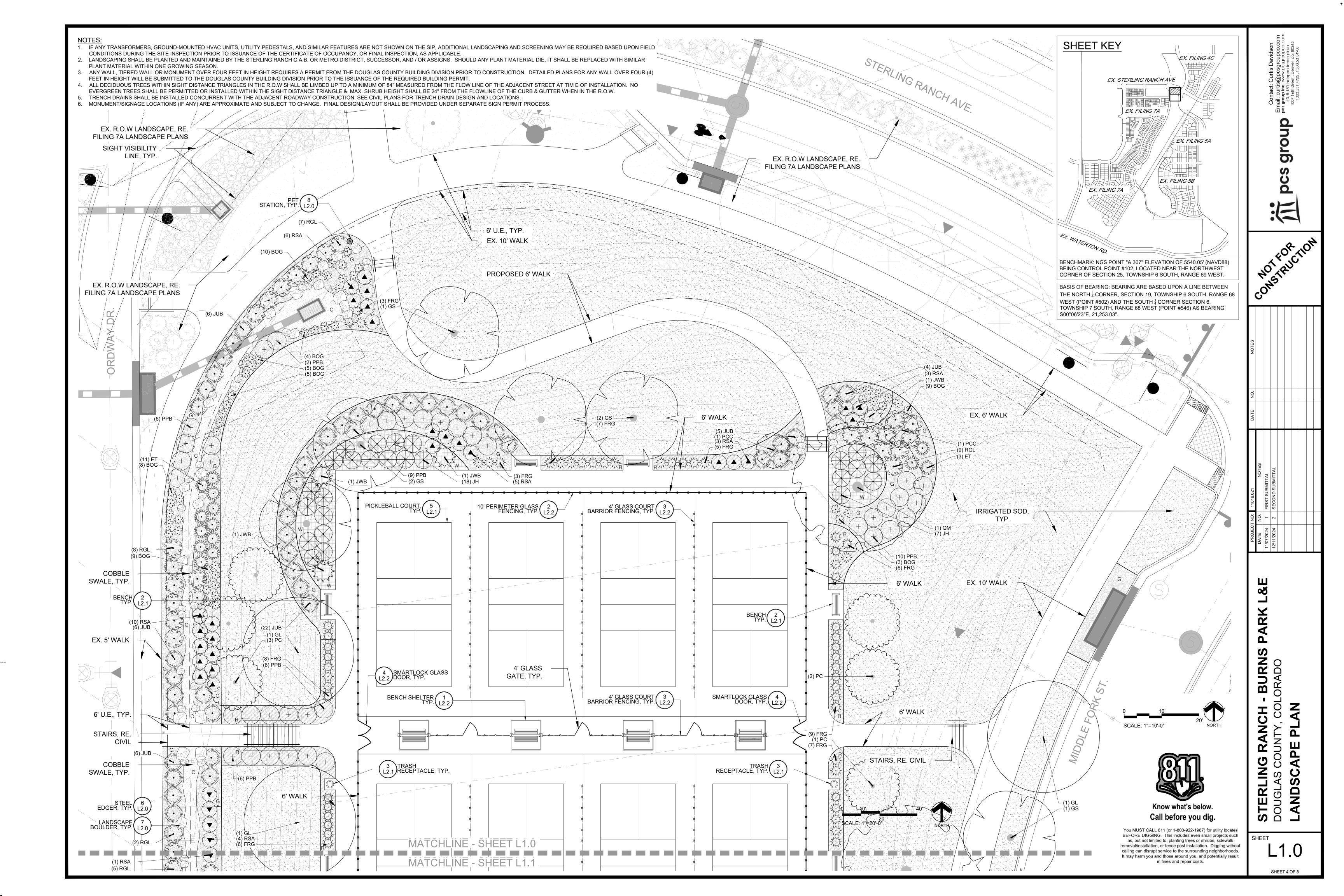
- 15. ALL WORK, CONTRACTED OR OTHERWISE TO BE COMPLETED BY LICENSED AND BONDED ORGANIZATIONS WITH KNOWLEDGE APPLICABLE TO EACH JOB.
- 16. A SUCCESSFUL STAND OF NATIVE GRASS IS DEFINED AS AT LEAST FOUR DESIRABLE SEEDLINGS PER SQ. FT., AND FREE OF EROSION AND WEED INFESTATION.

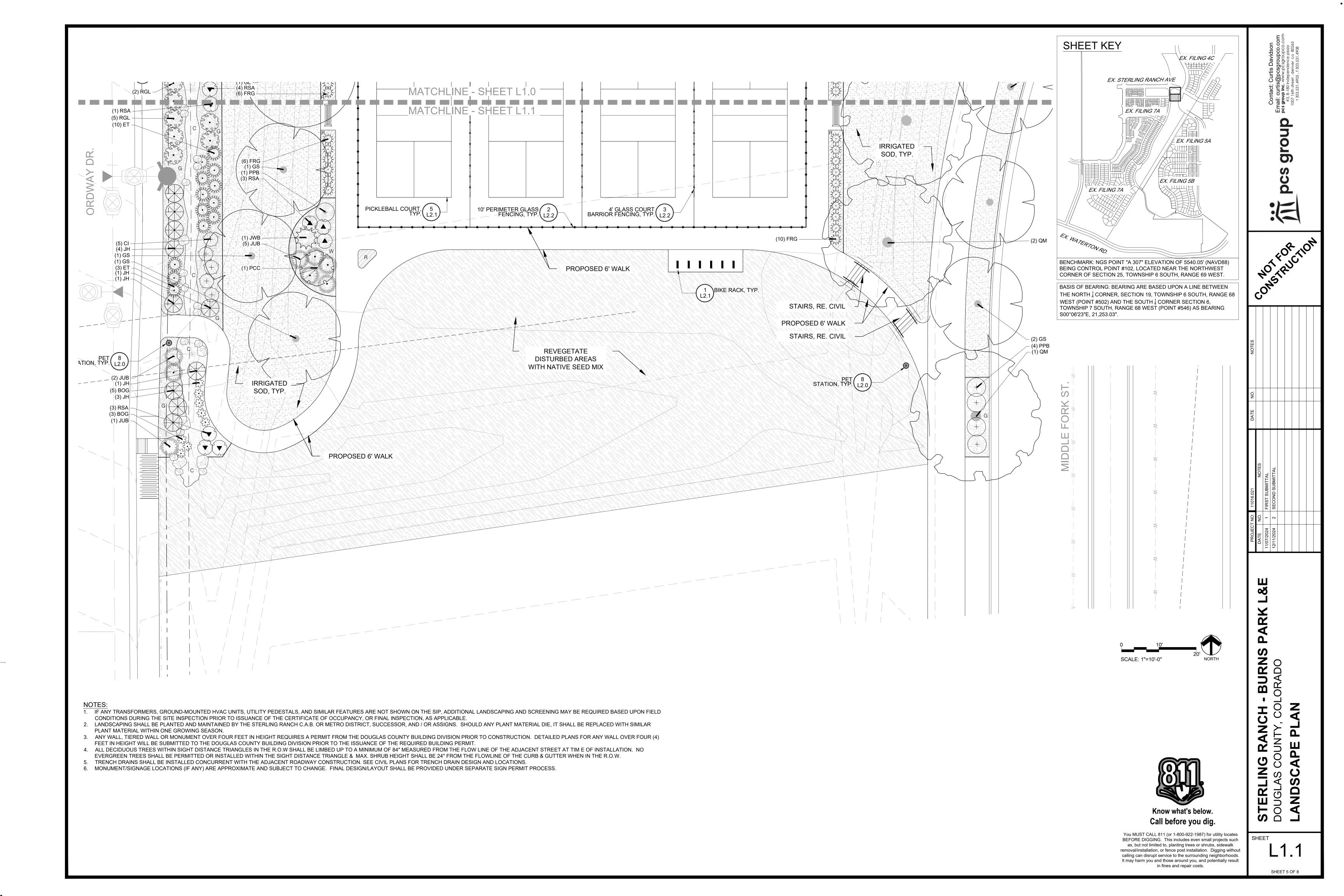
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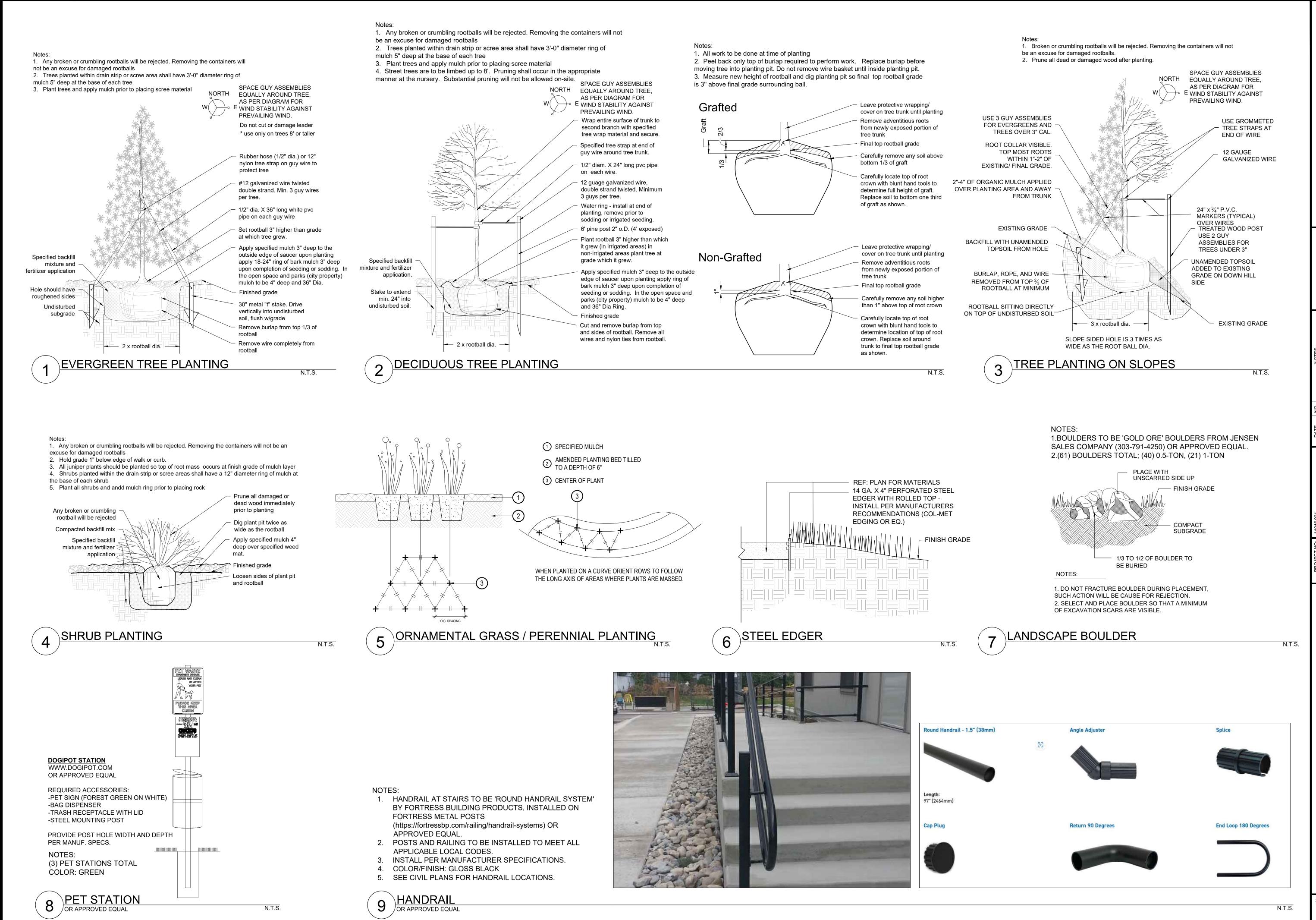
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SHEET 3 OF 8







Contact: Curtis Davidson
Email: curtis@pcsgroupco.co
pcs group inc. www.pcsgroupco.co
#3.8-180 Independence ploza
1007 16th street is denver co 80265

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DOUGLAS COUNTY,
LANDSCAPE DE

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SHEET 6 OF 8

RCPWC6 — Wainwright 6' Contour Bench

6' contour bench with recycled plastic seat and back planks, steel frame and legs.

The 4' contour bench is constructed of .38" thick x 4" wide formed steel end legs and frame with 1.5" x 3.5" (2" x 4" nominal dimensions) recycled plastic planks for the seat and back rest. The bench is 72" long and

will support 200 lbs. per linear foot. The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled .5" diameter holes in feet to prevent movement. Mounting hardware is not included.

The planks are made of 95% recycled content by weight and are impervious to moisture and

corrosion, do not require the application of sealants or preservatives, and will never need painting or

Fade-resistant, powder coated steel frame features a state-of-the-art primer proven to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

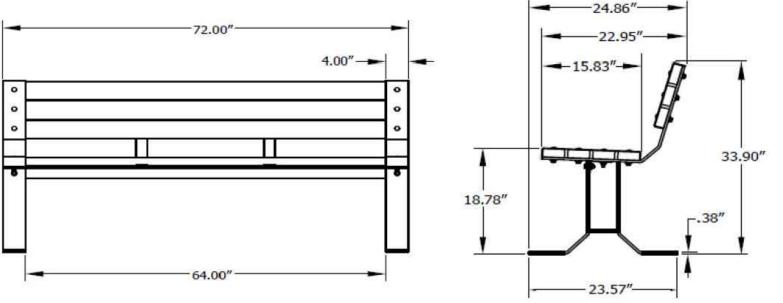
See website or sales representative for color choices.

The bench requires some assembly. Stainless steel assembly hardware is included.

The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

20-year limited structural warranty on recycled plastic from the date of purchase. See full details on multi-





1.BENCHES TO BE ANOVA WAINWRIGHT 6' CONTOUR BENCH OR APPROVED EQUAL. PLASTIC SLAT

- COLOR: MAHOGANY, FRAME COLOR: TEXTURED PEWTER
- 2.(6) BENCHES TOTAL. SURFACE MOUNT ON CONCRETE PAD. 3.INSTALL PER MANUFACTURER SPECIFICATIONS.
- 4. CONTACT: KATE.B@ANOVAFURNISHINGS.COM (720) 584-4327

20-year limited structural warranty on recycled plastic from the date of purchase. See full details on multi-25.15" SQ TOP-

24.75" SQ BASE →

1.TRASH RECEPTACLES TO BE ANOVA WAINWRIGHT 6' CONTOUR BENCH OR APPROVED EQUAL. PLASTIC SLAT COLOR: MAHOGANY, FRAME COLOR: TEXTURED PEWTER

2.(3) RECEPTACLES TOTAL. SURFACE MOUNT - INSTALL PER MANUFACTURER SPECIFICATIONS. 3. CONTACT: KATE.B@ANOVAFURNISHINGS.COM (720) 584-4327

1 1/2"

RCPWCT— Wainwright Receptacle with Curved Top

plastic slats which are supported by an extruded aluminum frame.

staining throughout the product's life.

See website or sales representative for color choices.

The receptacle ships fully assembled and ready for use.

protect the floor. The reusable plastic liner is made of high-density polyethylene.

year warranties for components at www.anovafurnishings.com/warranty.aspx.

45-gallon receptacle with recycled plastic slats, curved top, plastic liner and rubber

The 45-gallon receptacle is 41.34" tall and is composed of .75" x 3.5" (1" x 4" nominal dimensions) recycled

the elements. The top lifts off for easy trash removal and includes dual stainless steel security cables.

The planks are made of 95% recycled content by weight and are impervious to moisture and corrosion, do not require the application of sealants or preservatives, and will never need painting or

Rust-proof aluminum and rust-resistant primed steel components feature a fade-resistant powder coating. Treated components exceed the industry standard by 34% in testing by independent sources.

The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution

of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

The receptacle is designed to be portable for flexibility in placement and feature rubber feet to

The curved top is made of 14-gauge steel and covers an 11" diameter center top opening to keep out

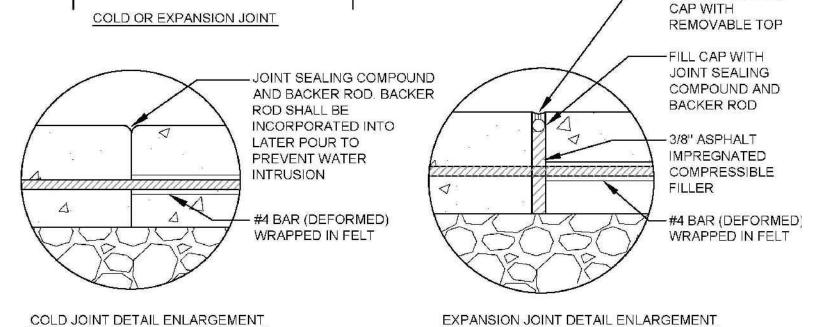
TRASH RECEPTACLE

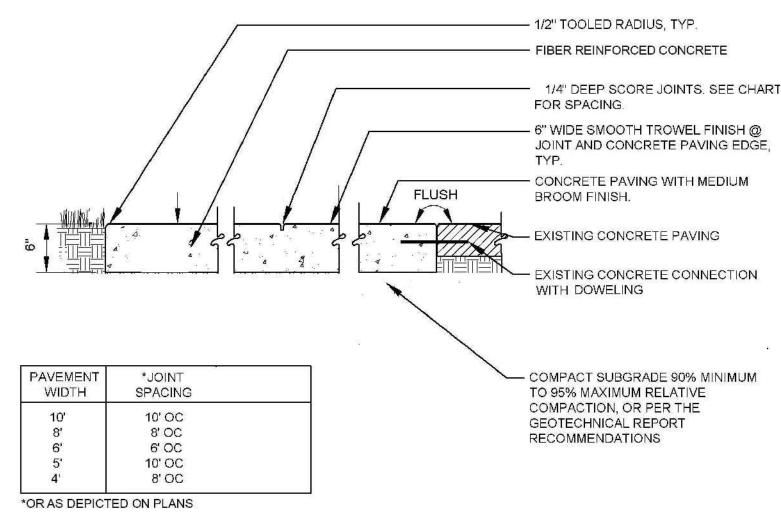
SCORE JOINT (REFER TO PLAN FOR LOCATION) 1/4"R TOOLED EDGE, TYP. SEE ENLARGEMENTS BELOW COLD JOINT W/ 1/4"R TOOLED EDGE, TYP. INSTALL WHERE SHOWN ON PLANS OR WHERE

CONCRETE PAVING MEETS VERTICAL SURFACE 12" LONG #4 BAR (DEFORMED) @ 24" O.C. MAXIMUM WRAP ONE END IN FELT AND EPOXY GROUT OTHER △ CLR. END INTO EXISTING CONCRETE. DOWEL SHALL BE 2" CLEAR FOR 4" THICK EXISTING CONCRETE, AND 3" CLEAR FOR 6" THICK EXISTING CONCRETE.

2.(6) BIKE RACKS TOTAL. SURFACE MOUNT - INSTALL PER MANUFACTURER SPECIFICATIONS.

3.CONTACT: BECKY RATTE 800-716-5506, EBRATTE@maglin.com





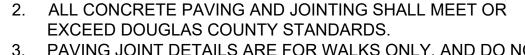
OR APPROVED EQUAI

EXPANSION JOINT

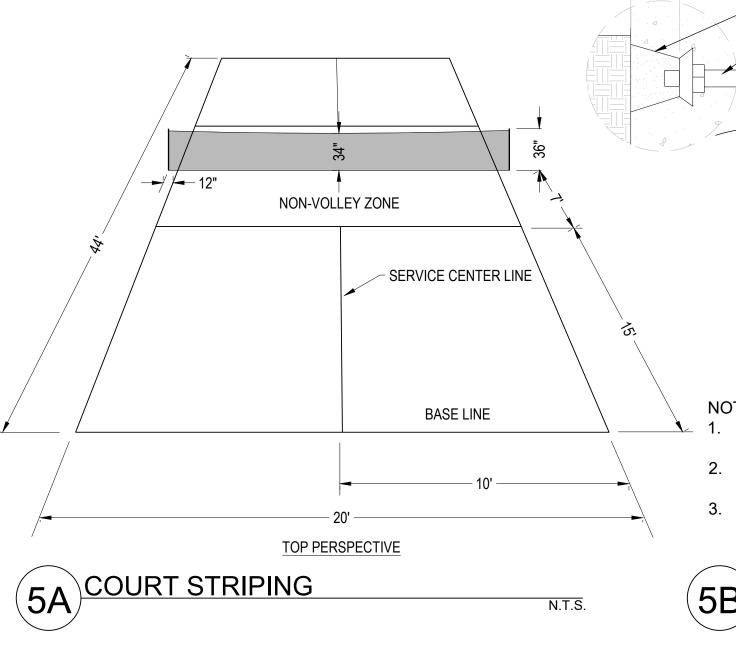
1. MEDIUM BROOM FINISH PERPENDICULAR TO WALK DIRECTION UNLESS

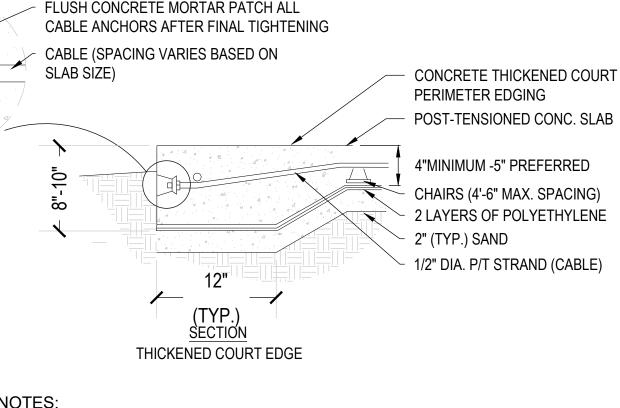
- OTHERWISE SHOWN ON PLAN. 2. CROSS SLOPE SHALL BE 1.8% WITH A TOLERANCE OF +/-0.2%, AND NOT
- EXCEEDING 2% OR FALLING UNDER 1.5%, UNLESS OUTSIDE PATH OF TRAVEL.
- 4. SCORE JOINTS SHALL BE TOOLED 1/4" WIDE AND DEEP.
- 5. EXPANSION JOINTS MAY OCCUR AT THE JUNCTION BETWEEN FLAT AND VERTICAL CONCRETE SURFACES.

1. CONCRETE PAVING AND CONCRETE PAVING JOINT DETAILS 0 3" 6" ARE FOR AREAS OUTSIDE DOUGLAS COUNTY RIGHT-OF-WAY.



3. PAVING JOINT DETAILS ARE FOR WALKS ONLY, AND DO NOT APPLY TO THE PICKLEBALL COURTS.





 POST TENSIONED CONCRETE DETAIL IS ILLUSTRATIVE AND FOR BIDDING PURPOSES ONLY.

- 2. CONTRACTOR TO PROVIDE SOIL TESTING AND ENGINEERING FOR POST TENSIONED CONCRETE.
- 3. FINAL ACRYLIC SURFACING COLOR SELECTION TO BE APPROVED BY
- OWNER PRIOR TO INSTALLATION. POST TENSIONED CONCRETE



1. PICKLE BALL COURT TO INCLUDE POST TENSIONED CONCRETE, ACRYLIC SURFACING, POSTS AND NET.

- 2. CONTRACTOR TO PROVIDE SOIL TESTING AND ENGINEERING FOR POST TENSIONED CONCRETE AND INSTALL ALL EQUIPMENT PER MANUFACTURER
- 3. PICKLEBALL POSTS AND NETS TO BE SUPPLIED BY PICKLETILE, OR APPROVED SIMILAR. CONTACT: STEVEN BLUSTEIN. EMAIL STEVEN@PICKLETILE.COM. EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- 4. ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF THE LINES. RECOMMENDED LINE WIDTHS = 2 INCHES
- RECOMMENDED NET POSTS EXTEND 12 INCHES OUTSIDE SIDELINE.
- 6. ACRYLIC PICKLEBALL SURFACE COATING TO BE RENNER CLASSIC PICKLEBALL COATING SYSTEM OR APPROVED SIMILAR. PERIMETER COLOR: TBD. NON-VOLLEY ZONE COLOR: TBD. SERVICE AREA COLOR: TBD.

PICKLEBALL COURT

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SHEET 7 OF 8

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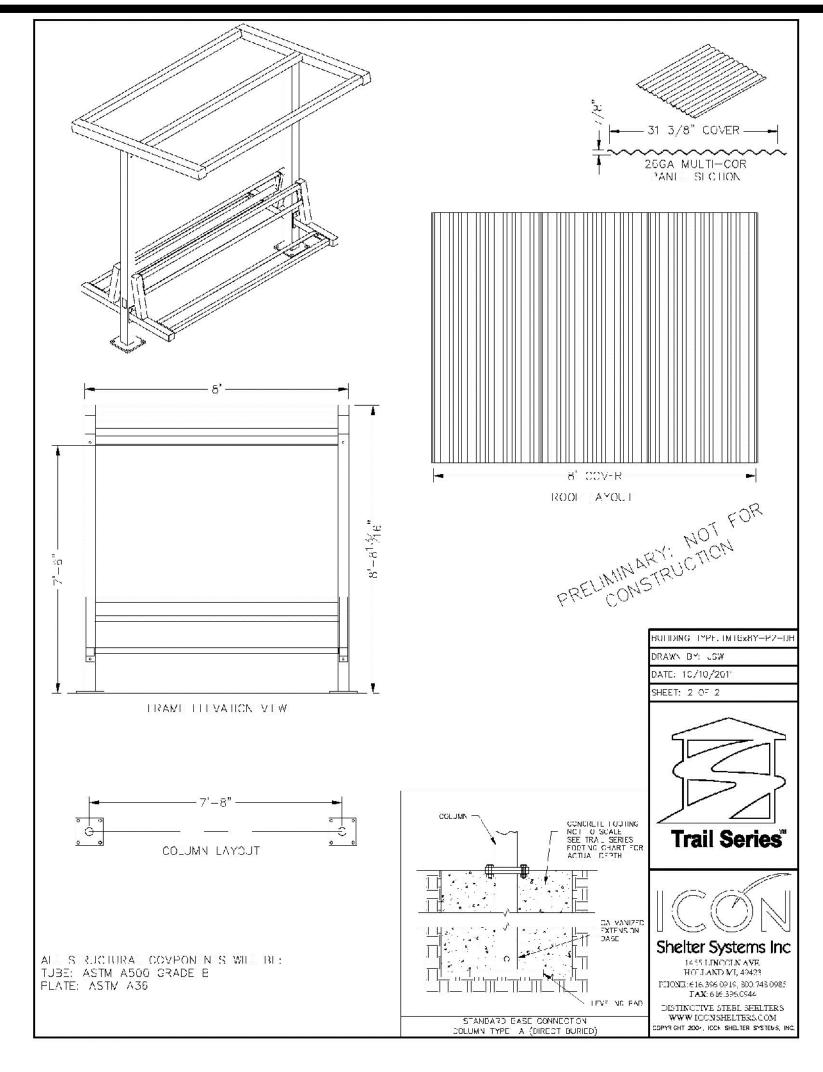
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CONCRETE PAVING AND JOINTING AS SHOWN OR APPROVED EQUAL

SPECIFICATIONS.

SCALE: 1" = 1'-0"

N.T.S.



- 1. GABLE SHELTER WITH BENCHES TO BE 'TRAIL SERIES' SHELTER BY ICON SHELTER SYSTEMS, MODEL (TMT6X8Y-P2-DB), AS SUPPLIED BY RECREATION PLUS, LTD. CONTACT: JESSE RODGERS. PHONE: 303-278-1455 / JESSE@RECREATIONPLUS.COM
- CONTRACTOR TO INSTALL SHELTER PER MANUFACTURER SPECIFICATIONS. CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS, ENGINEERED FOOTINGS, AND PERMITS.
- METAL ROOF COLOR: TBD. POWDER COAT COLOR: TBD. BENCH MATERIALS AND COLOR: TBD.
- (4) SHELTERS TOTAL.
- SHELTER TO BE AS SHOWN OR APPROVED EQUAL.

BENCH SHELTER
AS SHOWN OR APPROVED EQUAL





4. METAL POST COLOR: BLACK

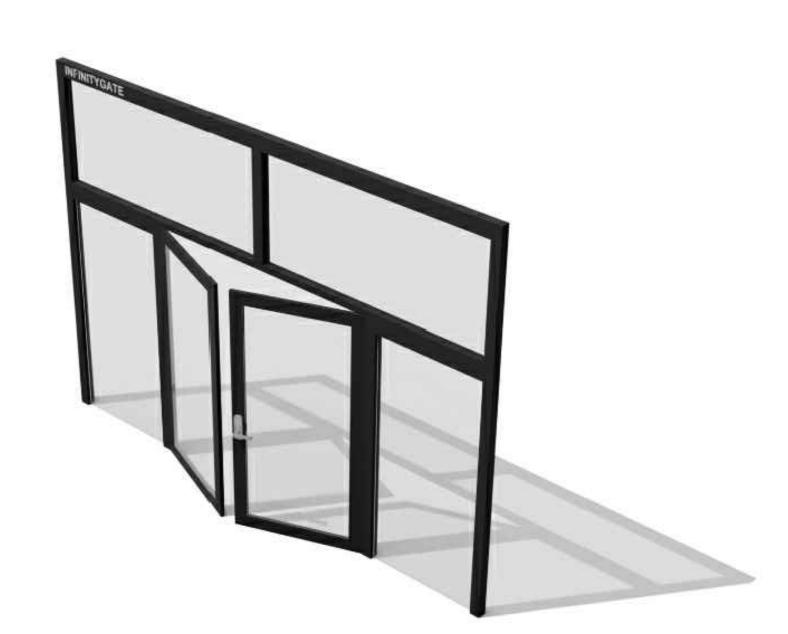
APPROVED SIMILAR.

5. 10' PERIMETER FENCE TO BE AS SHOWN OR



- 1. 4' GLASS COURT BARRIER FENCING TO BE 'INFINITYGLASS' GLASS PANEL COURT DIVIDER BY PICKLETILE. CONTACT: STEVEN BLUSTEIN. EMAIL STEVEN@PICKLETILE.COM
- 2. CONTRACTOR TO INSTALL FENCING PER MANUFACTURER SPECIFICATIONS. CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS, ENGINEERED FOOTINGS (IF REQUIRED), AND PERMITS.
- 4. METAL POST COLOR: BLACK
- 5. 4' GLASS COURT BARRIER FENCING TO BE AS SHOWN OR APPROVED SIMILAR.

4' GLASS COURT BARRIER FENCING
AS SHOWN OR APPROVED EQUAL



- 1. SMARTLOCK GLASS DOOR TO BE 'INFINITYGATE SMARTLOCK GLASS DOOR' BY
- PICKLETILE. CONTACT: STEVEN BLUSTEIN. EMAIL STEVEN@PICKLETILE.COM
- CONTRACTOR TO INSTALL DOOR PER MANUFACTURER SPECIFICATIONS. CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS,
- ENGINEERED FOOTINGS, AND PERMITS. 4. METAL FRAME COLOR: BLACK
- 5. SMARTLOCK GLASS DOOR TO BE AS SHOWN OR APPROVED SIMILAR.

SMARTLOCK GLASS DOOR
AS SHOWN OR APPROVED EQUAL

BURNS ORADO Δ. STERLING | DOUGLAS COI LANDSCAP

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SHEET 8 OF 8

10' PERIMETER GLASS FENCING
AS SHOWN OR APPROVED EQUAL