

Referral Agency Response Report**Project Name:** Sterling Ranch Filing 7A, Tract B**Project File #:** LE2024-028**Date Sent:** 11/22/2024**Date Due:** 12/06/2024

Agency	Date Received	Agency Response	Response Resolution
Addressing Analyst	12/04/2024	<p>Verbatim response: The proposed address for this facility is 8508 STERLING RANCH AVENUE. This address is not to be used for any purpose other than for plan review until after this project is approved. Proposed addresses are subject to changes as necessary for 911 dispatch and life safety purposes.</p> <p>Addresses are recorded by Douglas County following all necessary approvals. Contact DCAddressing@douglas.co.us or 303.660.7411 with questions.</p>	Comments provided to applicant.
AT&T Long Distance - ROW	11/26/2024	<p>Summary of response letter: AT&T reviewed the request and noted there should be no conflicts with AT&T Long Lines.</p>	No action required.
Building Services	11/22/2024	<p>Verbatim response: Electrical permit is required. Permit is required for structures (shelter, shed, etc....)</p>	Comments provided to applicant.
CenturyLink		No response received.	
Chatfield Community Association		No response received.	
Comcast		No response received.	
Dominion Water and Sanitation District	12/06/2024	No comment.	No action required.
Douglas County Parks and Trails		No response received.	
Engineering Services	12/06/2024	<p>Summary of response letter: Engineering provided comments to address with the Construction Plans.</p>	Comments provided to applicant.
Office of Emergency Management		No response received.	
Plum Valley Heights HOA		No response received.	

Referral Agency Response Report

Project Name: Sterling Ranch Filing 7A, Tract B

Project File #: LE2024-028

Date Sent: 11/22/2024

Date Due: 12/06/2024

Agency	Date Received	Agency Response	Response Resolution
South Metro Fire Rescue	12/04/2024	Summary of response letter: South Metro Fire Rescue (SMFR) has reviewed the provided documents and has no objection to the proposed Location and Extent. Applicants and Contractors are encouraged to contact SMFR regarding the applicable permit requirements for the proposed project.	Comments provided to applicant.
Sterling Ranch Community Authority Board		No response received.	
Western Douglas County Citizens Alliance		No response received.	
Xcel Energy-Right of Way & Permits	11/27/2024	Summary of response letter: PSCo owns and operates existing natural gas and electric distribution facilities along Middle Fork Street.	Comments provided to applicant.

Brett Thomas

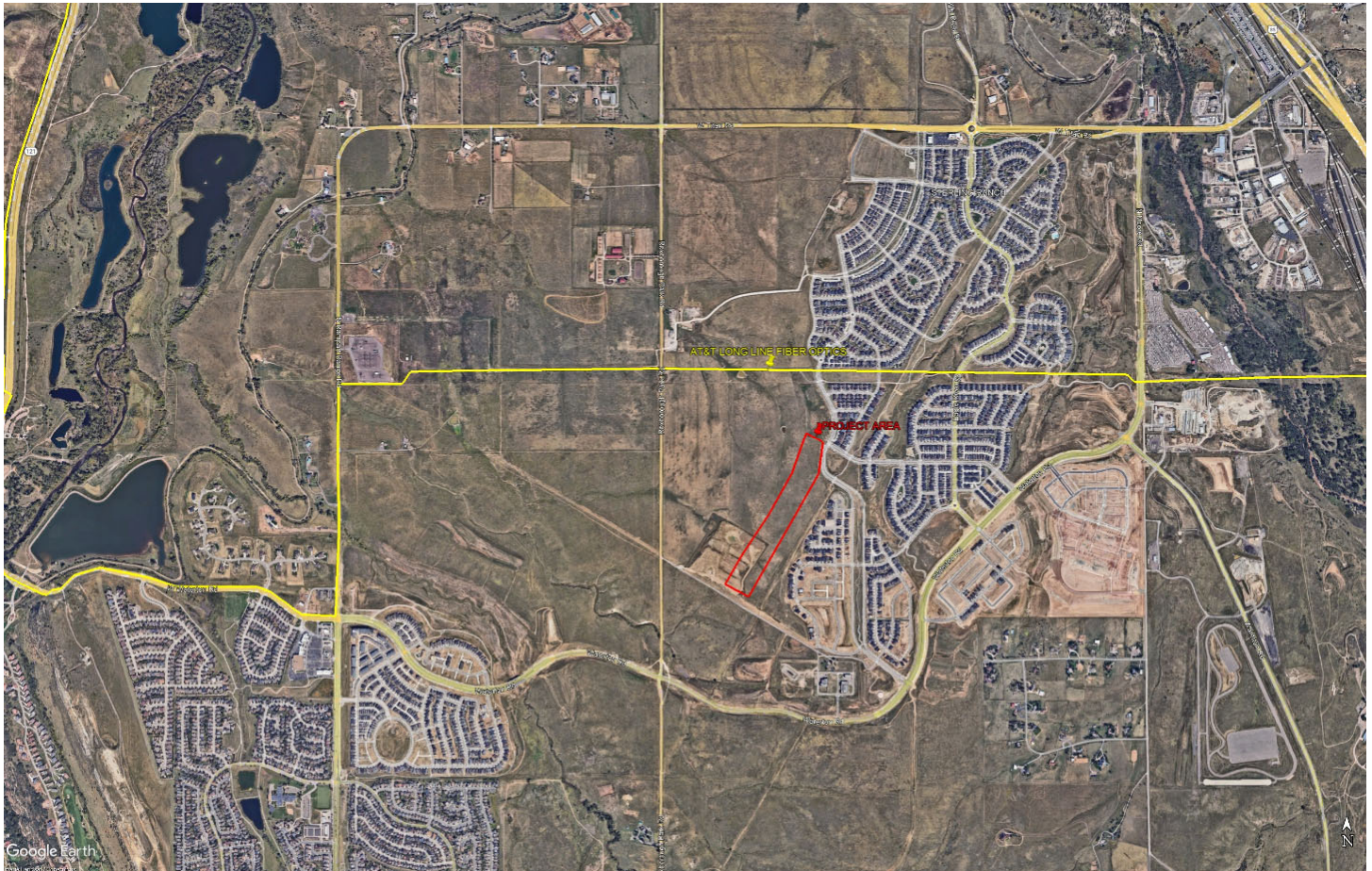
From: annb cwc64.com <annb@cwc64.com>
Sent: Tuesday, November 26, 2024 10:16 AM
To: Brett Thomas <bthomas@douglas.co.us>
Cc: Pam Choy (pc2914@att.com) <pc2914@att.com>; duanew cwc64.com <duanew@cwc64.com>; jt cwc64.com <jt@cwc64.com>
Subject: Burns Regional Park Littleton, Colorado Douglas County eReferral #LE2024-028

Hi Brett,

This is in response to your eReferral with a utility map showing any buried AT&T Long Line Fiber Optics near Burns Regional Park Littleton, Colorado. The Earth map shows the project area in red and the buried AT&T Long Line Fiber Optics in yellow. Based on the address and/or map you provided, there should be NO conflicts with the AT&T Long Line facilities.

Please feel free to contact us with any questions or concerns.

Ann Barnowski
Clearwater Consulting Group Inc
120 9th Avenue South
Suite 140
Nampa, ID 83651
Annb@cwc64.com



The attached google earth maps are intended to show approximate locations of the buried AT&T long line fiber optic cable. The maps are provided for informational purposes only. In no way should the maps be used for anything other than general guidelines as to where the fiber is or is not and any other use of these maps is strictly prohibited.

REFERRAL RESPONSE REQUEST – LOCATION AND EXTENT

Date sent: November 22, 2024

Comments due by: **December 6, 2024**

Project Name: Sterling Ranch Filing 7A, Tract B – Location and Extent

Project File #: LE2024-028

Project Summary: The applicant, Sterling Ranch Community Authority Board, requests approval of a Location and Extent (L & E) to construct a portion of Burns Regional Park to include eight pickleball courts, seating, shade structures, and landscaping within a 1.16-acre area of Tract B. The site is located south of Sterling Ranch Avenue, between Middle Fork Street and Ordway Drive.

Information on the identified development proposal located in Douglas County is enclosed. Please review and comment in the space provided.

<input type="checkbox"/> No Comment	
<input type="checkbox"/> Please be advised of the following concerns:	
<div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div> <div style="border-bottom: 1px solid black; margin-bottom: 5px;"></div>	
<input checked="" type="checkbox"/> See letter attached for detail.	
Agency: DC Public Works Eng.	Phone #: 303.660.7490 Ext. 3305
Your Name: Bradley Jackson	Your Signature: <i>Bradley A. Jackson</i>
<i>(please print)</i>	Date: 12/06/2024

A public hearing on this request will be held before the Douglas County Planning Commission on Monday, **December 16, 2024, at 6:00 pm.** See the County website or contact the Planning Department for instructions on how to participate.

Sincerely,



Brett Thomas, AICP, Chief Planner

MEMORANDUM

To: Brett Thomas, AICP, Chief Planner

From: Brad Jackson, PE, Development Review Supervisor
Bradley A. Jackson

CC: Zeke Lynch, P.E., Assistant Director Public Works Engineering
DV File (DV24-495)

Date: 12/06/2024

RE: Sterling Ranch Filing 7A, Tract B – Location and Extent (L&E)

The Douglas County Department of Public Works Engineering has reviewed the Sterling Ranch Filing 7A, Tract B – Location and Extent (L&E) Project and has the following comments:

General Comments:

1. A Notice of Change (NOC) will be required to include this grading into the existing Grading, Erosion and Sediment Control (GES) permit for Sterling Ranch Filing 7A.
2. Douglas County Public Works Engineering has no comments on the Drainage and Traffic conformance letters that were provided.

L&E Construction Plan Comments:

Sheet C3

3. Why is the midblock curb ramp shown with a ramp on the south side of the landing, this does not appear to match the approved Filing 7A construction plans.

Sheet C5

4. How will 6' walk tie into the mid-block ramp?
5. Provide details for the trench drains and area inlets.
6. Can the sidewalk on the southwest side of the site be flattened to be made in another ADA accessible access?

Sheet L1.0

7. Please show any site distance triangles for the roundabout from the Filing 7A construction plans to verify that none of the improvements are located within those site distance triangles.

If the applicant has any questions regarding these comments, please feel free to have them contact me directly. Thank you for the opportunity to review this request.

SOUTH METRO FIRE RESCUE

FIRE MARSHAL'S OFFICE



Brett Thomas, AICP, Chief Planner
Douglas County Department of Community Development, Planning Services
100 Third St
Castle Rock Co 80104
303.660.7460
303.660.9550 Fax

Project Name: Sterling Ranch Filing 7A, Tract B – Location and Extent
Project File #: **LE2024-028**
S Metro Review # REFSI24-00202

Review date: December 4, 2024

Plan reviewer: Aaron Miller
720.989.2246
aaron.miller@southmetro.org

Project Summary: The applicant, Sterling Ranch Community Authority Board, requests approval of a Location and Extent (L & E) to construct a portion of Burns Regional Park to include eight pickleball courts, seating, shade structures, and landscaping within a 1.16-acre area of Tract B. The site is located south of Sterling Ranch Avenue, between Middle Fork Street and Ordway Drive.

Code Reference: Douglas County Fire Code, 2018 International Fire Code, and 2021 International Building Code with amendments as adopted by Douglas County.

South Metro Fire Rescue (SMFR) has reviewed the provided documents and has no objection to the proposed Location and Extent. Applicants and Contractors are encouraged to contact SMFR regarding the applicable permit requirements for the proposed project.



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.285.6612
violeta.ciocanu@xcelenergy.com

November 27, 2024

Douglas County Planning Services
100 Third Street
Castle Rock, CO 80104

Attn: Brett Thomas

Re: Sterling Ranch Filing 7A, Tract B, Case # LE2024-028

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the plans for **Sterling Ranch Filing 7A, Tract B** and currently has **no apparent conflict**. Please be aware PSCo owns and operates existing natural gas and electric distribution facilities along Middle Fork Street.

The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Violeta Ciocanu (Chokanu)
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-285-6612 – Email: violeta.ciocanu@xcelenergy.com



December 11, 2024

Mr. Brett Thomas, AICP
Douglas County Community Development
100 Third Street
Castle Rock, CO 80104
bthomas@douglas.co.us

RE: LE2024-028, Burns Regional Park, Sterling Ranch Filing 7A, Trac B

Dear Mr. Thomas:

Thank you for providing the referral comments for the pickleball courts in Burns Regional Park within Sterling Ranch (Project File # located above). Thanks to our partnership agencies for their comments. Below you will see our comments on submissions with actionable items or concerns.

Douglas County Departments

- Addressing Analyst – CAB will work with the department to verify addresses as indicated in their referral comments.
- Building Services – CAB will work with the building department to obtain all required permits for this project.
- Engineering Services – See the attached letter from Redland Engineering and updated documents addressing the comments from the Engineering team. We appreciate their thorough review and comments and look forward to working with them on this project.

South Metro Fire Rescue – CAB will work with SMFR on applicable permit requirements and will obtain all necessary permits as indicated in their referral comments.

AT&T – CAB acknowledges that there should be no conflict with this utility as indicated in their referral comments and will work with them if any are discovered.

Xcel Energy – CAB acknowledges that there should be no conflict with this utility as indicated in their referral comments and will work with them if any are discovered.

Dominion WSD – CAB will work with Dominion WSD for necessary inspections, meters, and documentation, as required.

Sincerely,

A handwritten signature in black ink, appearing to read "Jessica Towles".

Jessica Towles
Director of Community Experience and Resident Support

cc: Gary Debus

December 11, 2024

Brad Jackson, PE
Development Review Supervisor
Douglas County Dept. of Public Works
Engineering Services
100 Third Street
Castle Rock, CO 80104

Re: Sterling Ranch Filing 7A, Tract B – Location and Extent (L&E)

Dear Mr. Jackson

We have received your comments for Sterling Ranch Filing 7A, Tract B L&E comments, and we offer the following responses:

General Comments:

1. A Notice of Change (NOC) will be required to include this grading into the existing Grading, Erosion and Sediment Control (GESCC) permit for Sterling Ranch Filing 7A.
Response: Thank you, comment acknowledged. Upon approval of the L&E, an NOC will be provided.
2. Douglas County Public Works Engineering has no comments on the Drainage and Traffic conformance letters that were provided.
Response: Thank you, comment acknowledged

L&E Construction Plan Comments:

Sheet C3

3. Why is the midblock curb ramp shown with a ramp on the south side of the landing, this does not appear to match the approved Filing 7A construction plans.
Response: According to the approved NOC #1 for Sterling Ranch Filing 7A North CDs, this ramp was approved with the ramp hatch.

Sheet C5

4. How will 6' walk tie into the mid-block ramp?
Response The proposed 6' walk has been re-aligned to avoid conflict with the midblock curb ramp. Widening the midblock ramp width is not feasible due to the steep nature of the receiving curb ramp.

5. Provide details for the trench drains and area inlets.
Response: Provided more detail to the callouts regarding the drains and area inlets, in addition to Note 1 that describes the installation.

6. Can the sidewalk on the southwest side of the site be flattened to be made in another ADA accessible access?
Response: The sidewalk on the southwest side of the site is ADA accessible, the other connections are not accessible.

Sheet L1.0

7. Please show any site distance triangles for the roundabout from the Filing 7A Construction plans to verify that none of the improvements are located within those site distance triangles.
Response: Sight distance triangles have been provided.

On behalf of Sterling Ranch Development Company and the Sterling Ranch project team, thank you for your time and consideration reviewing comment responses for Sterling Ranch Filing 7A, Tract B – L&E. If you have any questions, please contact me at bhart@redland.com or 720-283-6783 ext. 130.

Sincerely,

Brian Hart, PE
Sr. Project Manager
Associate Principal

STERLING RANCH FILING NO. 7A - BURNS PARK

LOCATION AND EXTENT PLAN

PORTION OF SECTIONS 30 AND 31, TOWNSHIP 6 SOUTH, RANGE 68 & 69,
WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, COLORADO.
SB2023-058, LE2024-028

PROJECT TEAM

APPLICANT

Sterling Ranch CAB
9350 Roxborough Park Road
Sterling Ranch, CO 80125
720.470.3356 voice
Contact: Jessica Towles
Email: Jessica.Towles@sterlingranchcab.com

CIVIL ENGINEER

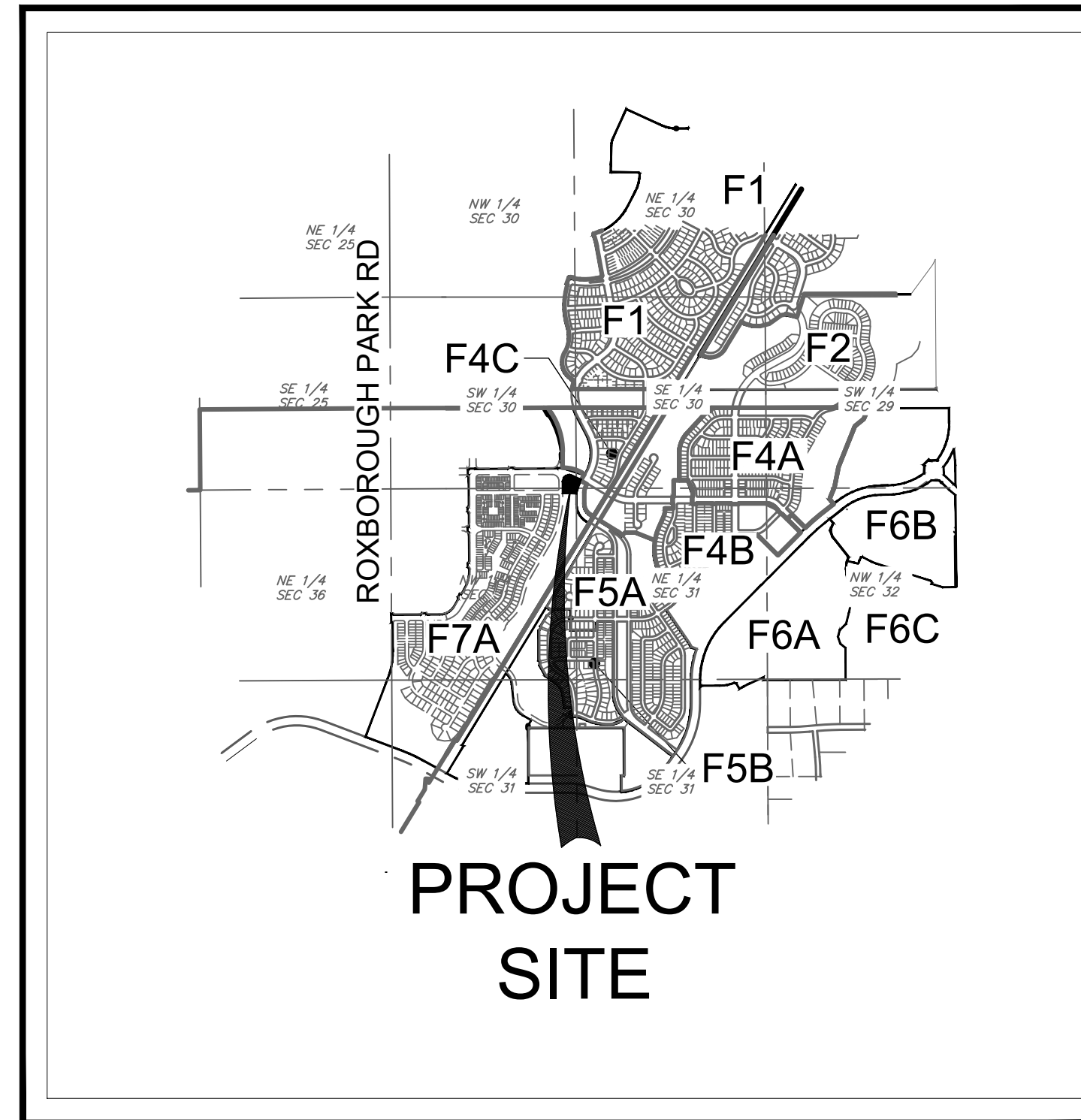
Redland
1500 West Canal Court,
Littleton, Colorado 80120
720.283.6783 voice
Contact: Brian Hart, P.E.
Email: bhart@redland.com

TRAFFIC ENGINEER

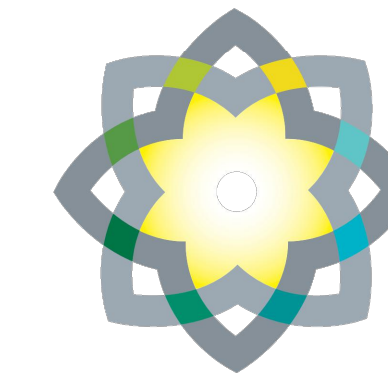
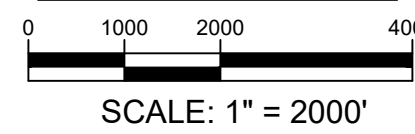
Fox Tuttle Transportation Group, LLC
1624 Market Street, Suite 202
Denver, Colorado 80202
303.652.3571 voice
Contact: Cassie Slade
Email: cassie.slade@foxtuttle.com

PLANNER/LANDSCAPE ARCHITECT

PCS Group Inc.
301 Kalamath Street, #202
Denver, Colorado 80211
303.531.4905 voice
Contact: Curtis Davidson
Email: curtis@pcsgroupco.com



VICINITY MAP



STERLING RANCH
COLORADO

SHEET INDEX

CIVIL PLANS

C1	C1 - COVER SHEET
C2	SITE PLAN
C3	SITE PLAN
C4	GRADING PLAN
C5	GRADING PLAN

LANDSCAPING PLANS BY OTHERS

L0.0	LANDSCAPE COVER SHEET
L0.1	LANDSCAPE NOTES
L0.2	LANDSCAPE SCHEDULE
L1.0 - L1.1	LANDSCAPE PLAN
L2.0 - L2.2	LANDSCAPE DETAILS

DESIGN ENGINEER'S SIGNATURE BLOCK:

THESE CONSTRUCTION PLANS FOR (STERLING RANCH FILING NO. 5A) WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF DOUGLAS COUNTY'S ROADWAY DESIGN AND CONSTRUCTION STANDARDS, STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA, AND THE GRADING, EROSION AND SEDIMENT CONTROL MANUAL.

BRIAN HART, PE #34735
REDLAND

DATE



You MUST CALL 811 (or 1-800-922-1987) for utility locates BEFORE DIGGING. This includes even small projects such as, but not limited to, planting trees or shrubs, sidewalk removal/installation, or fence post installation. Digging without calling can disrupt services to the surrounding neighborhoods. It may harm you and those around you, and potentially result in fines and repair costs.

ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



NOTES

NO.

DATE

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NO.

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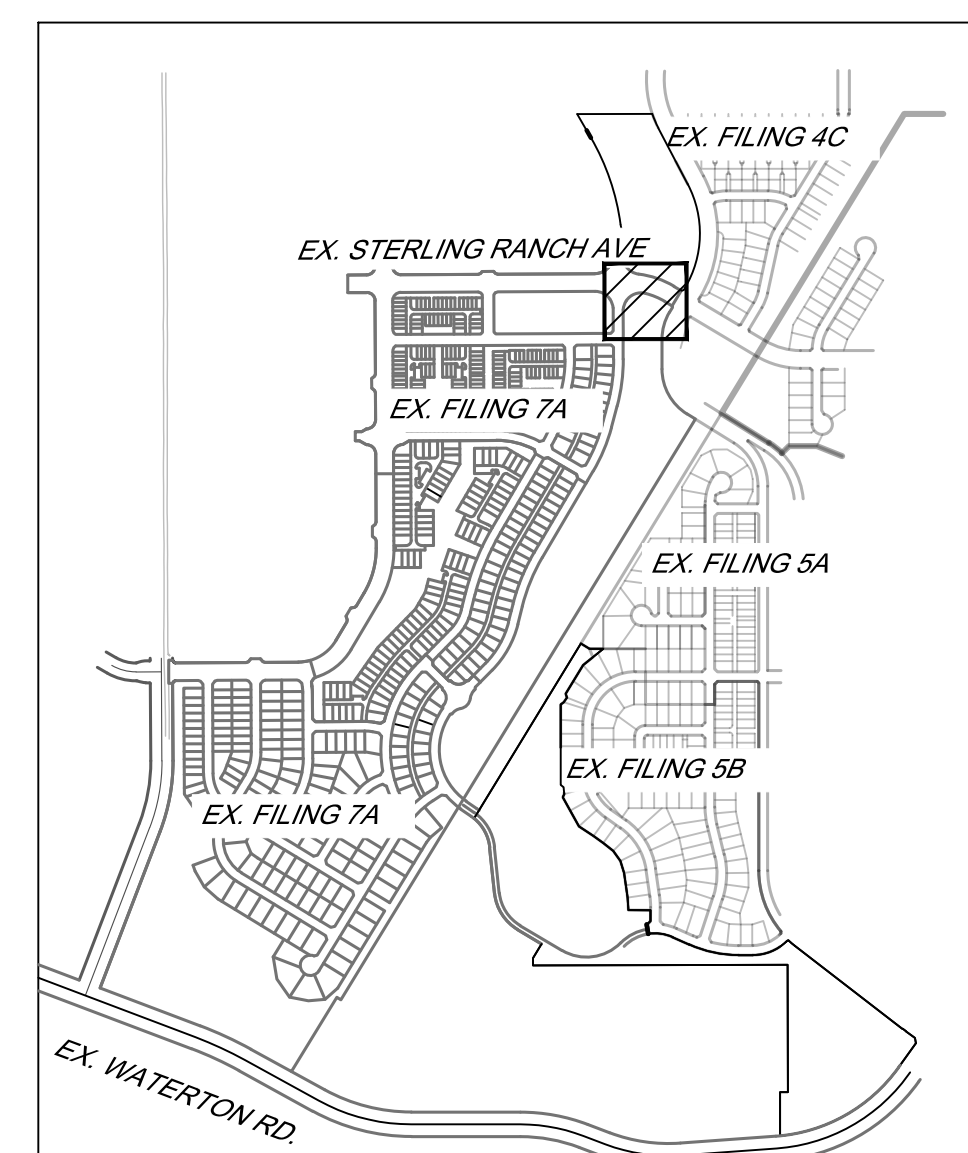
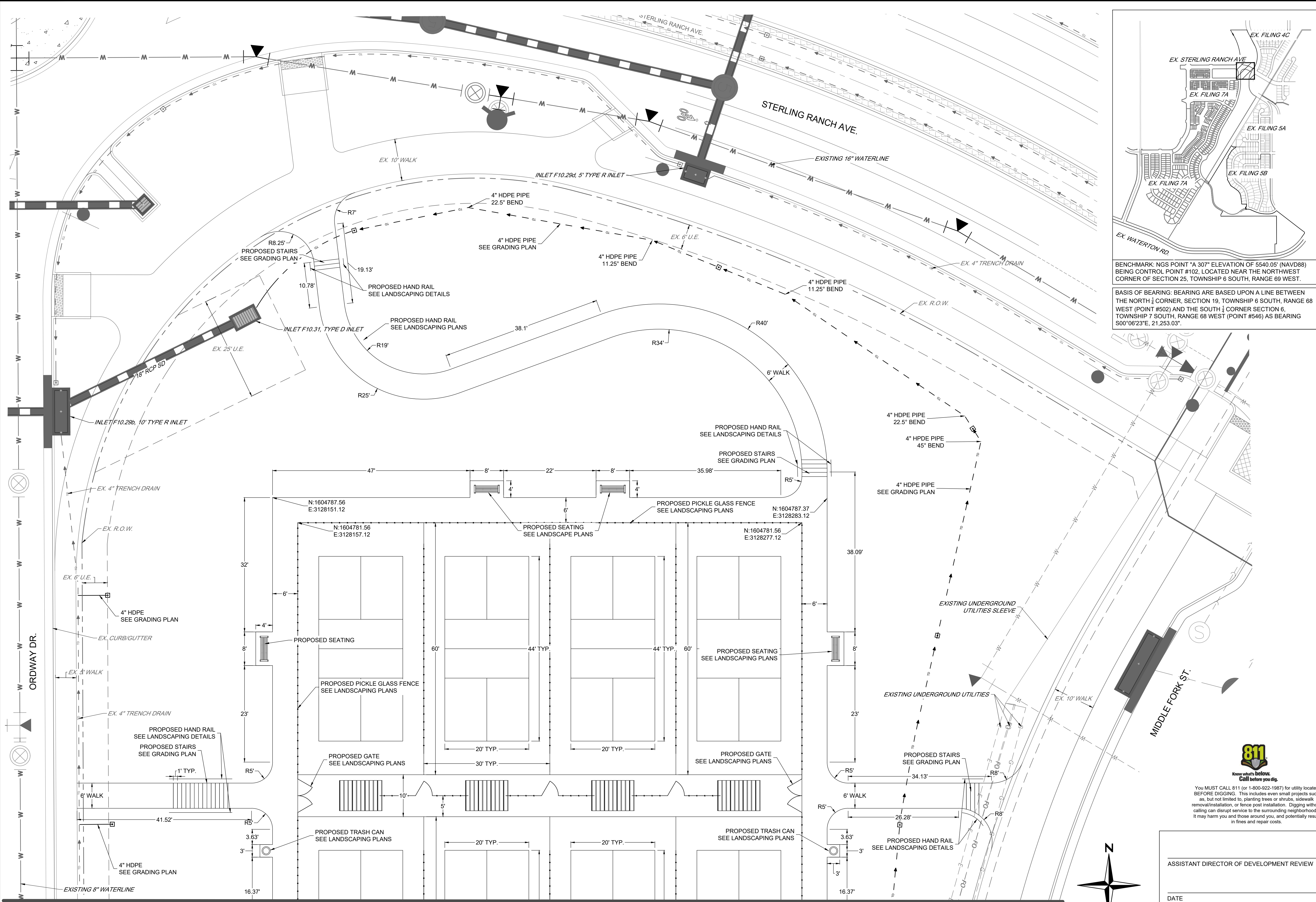
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DATE

STERLING RANCH 7A - BURNS PARK L&E
DOUGLAS COUNTY, COLORADO
COVER SHEET

C1

I:\2011\11016 - Sterling Ranch\CADD\Sheet_Sets\11016.021 SR Filing 7\11016.021 SR-7A CD's\SR 7A Burns Park Pickleball\Site Plan.dwg tab: C2 SITE PLAN Dec 11, 2024 - 8:56am kduan



BENCHMARK: NGS POINT "A 307" ELEVATION OF 5540.05' (NAVD88) BEING CONTROL POINT #102, LOCATED NEAR THE NORTHWEST CORNER OF SECTION 25, TOWNSHIP 6 SOUTH, RANGE 69 WEST.

BASIS OF BEARING: BEARING ARE BASED UPON A LINE BETWEEN THE NORTH 1/4 CORNER, SECTION 19, TOWNSHIP 6 SOUTH, RANGE 68 WEST (POINT #502) AND THE SOUTH 1/4 CORNER SECTION 6, TOWNSHIP 7 SOUTH, RANGE 68 WEST (POINT #546) AS BEARING S00°06'23"E, 21,253.03'.



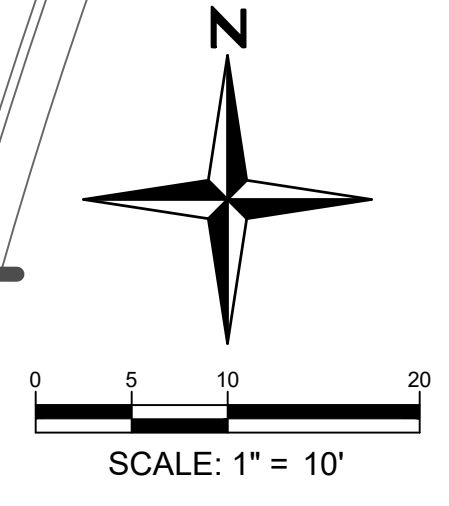
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ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

DATE

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ENGINEERING DIVISION ACCEPTANCE BLOCK



MATCHLINE - SEE SHEET NO. C3

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720.283.6783
 REDLAND.COM

Land Planning
 Civil Engineering
 Landscape Architecture
 Construction Management

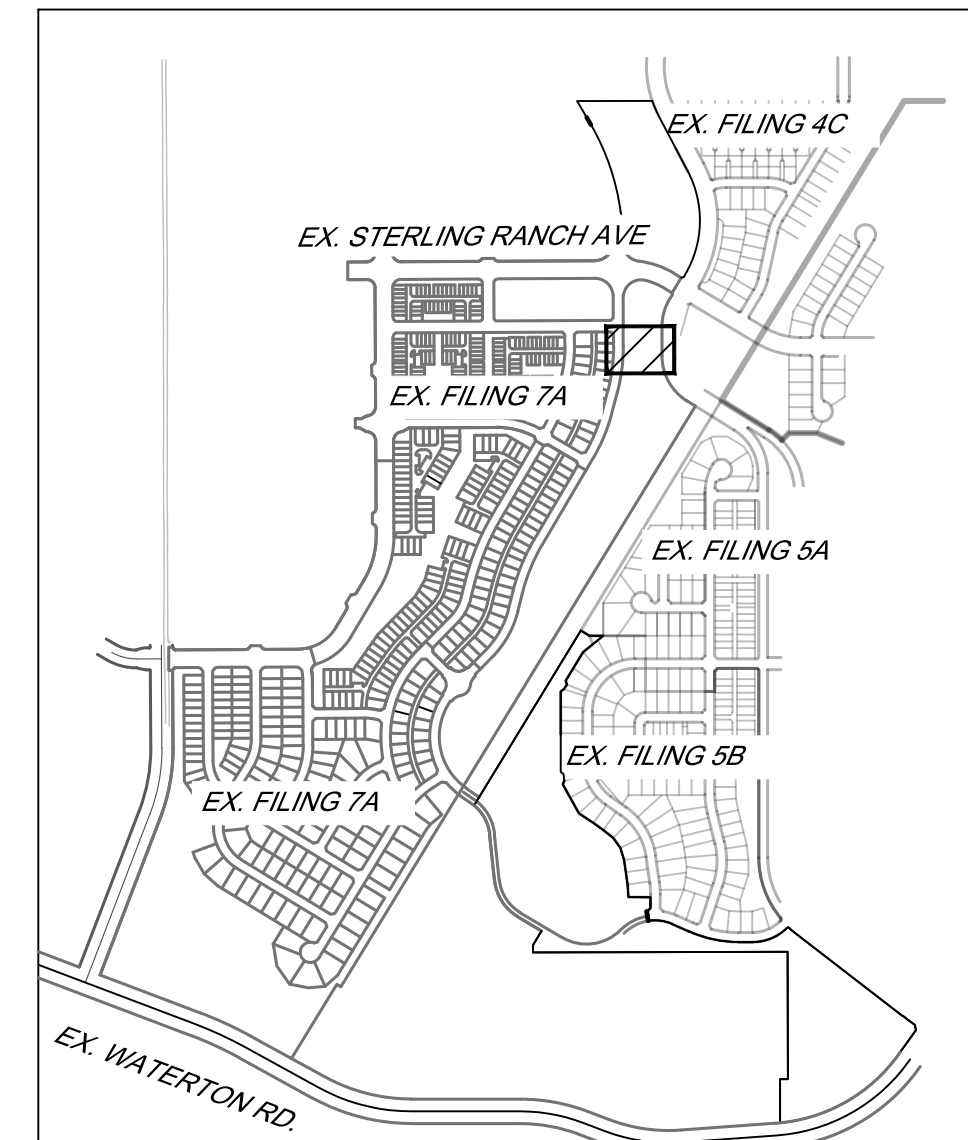
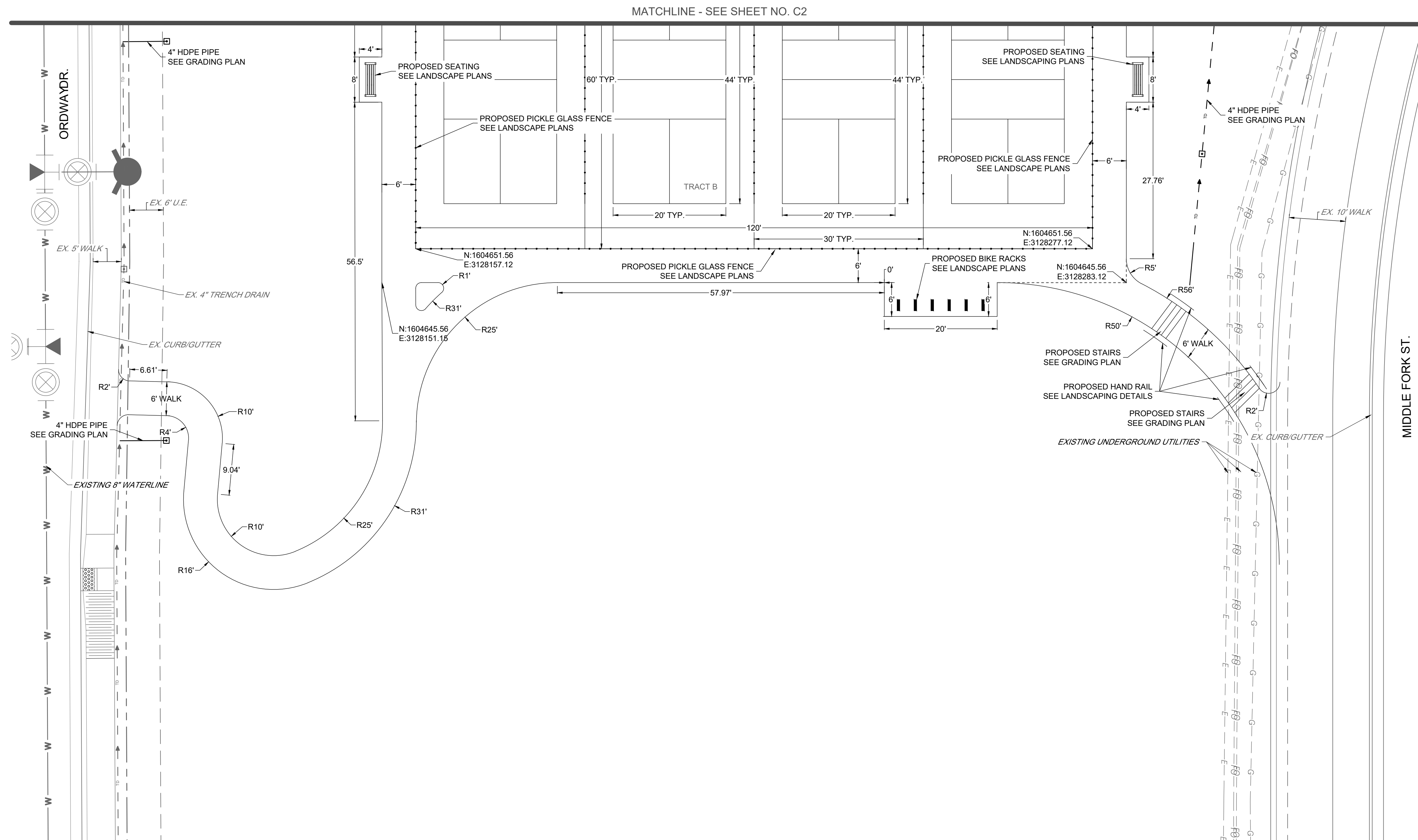
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11016.021	11/07/2024	1	FIRST SUBMITTAL
	12/11/2024	2	SECOND SUBMITTAL

STERLING RANCH 7A - BURNS PARK L&E
 DOUGLAS COUNTY, COLORADO
SITE PLAN

SHEET

C2

I:\2011\11016 - Sterling Ranch\CADD\Sheet_Sets\11016.021 SR Filing 7\11016.021 SR-7A Cds\SR 7A Burns Park Pickleball\Site Plans.dwg tab: C3 SITE PLAN Dec 11, 2024 - 8:56am hdunn



BENCHMARK: NGS POINT "A 307" ELEVATION OF 5540.05' (NAVD88) BEING CONTROL POINT #102, LOCATED NEAR THE NORTHWEST CORNER OF SECTION 25, TOWNSHIP 6 SOUTH, RANGE 69 WEST.

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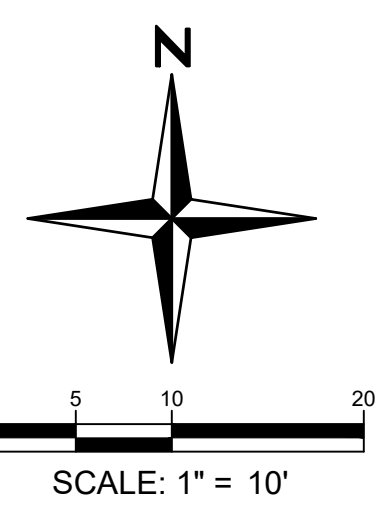
PROJECT NO: 11016.021		NOTES	
DATE	NO	DATE	NO
11/07/2024	1		
12/11/2024	2		

STERLING RANCH 7A - BURNS PARK L&E
DOUGLAS COUNTY, COLORADO
SITE PLAN

SHEET
C3



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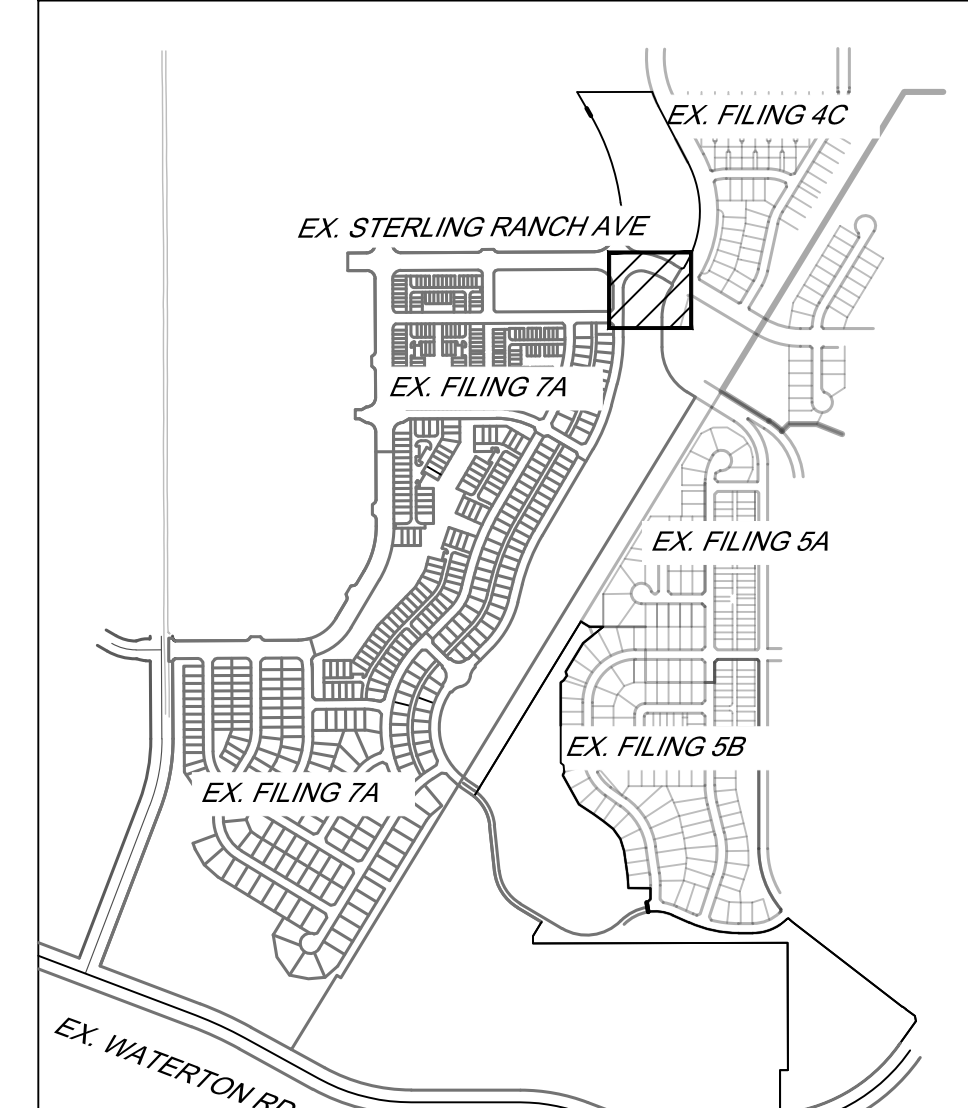
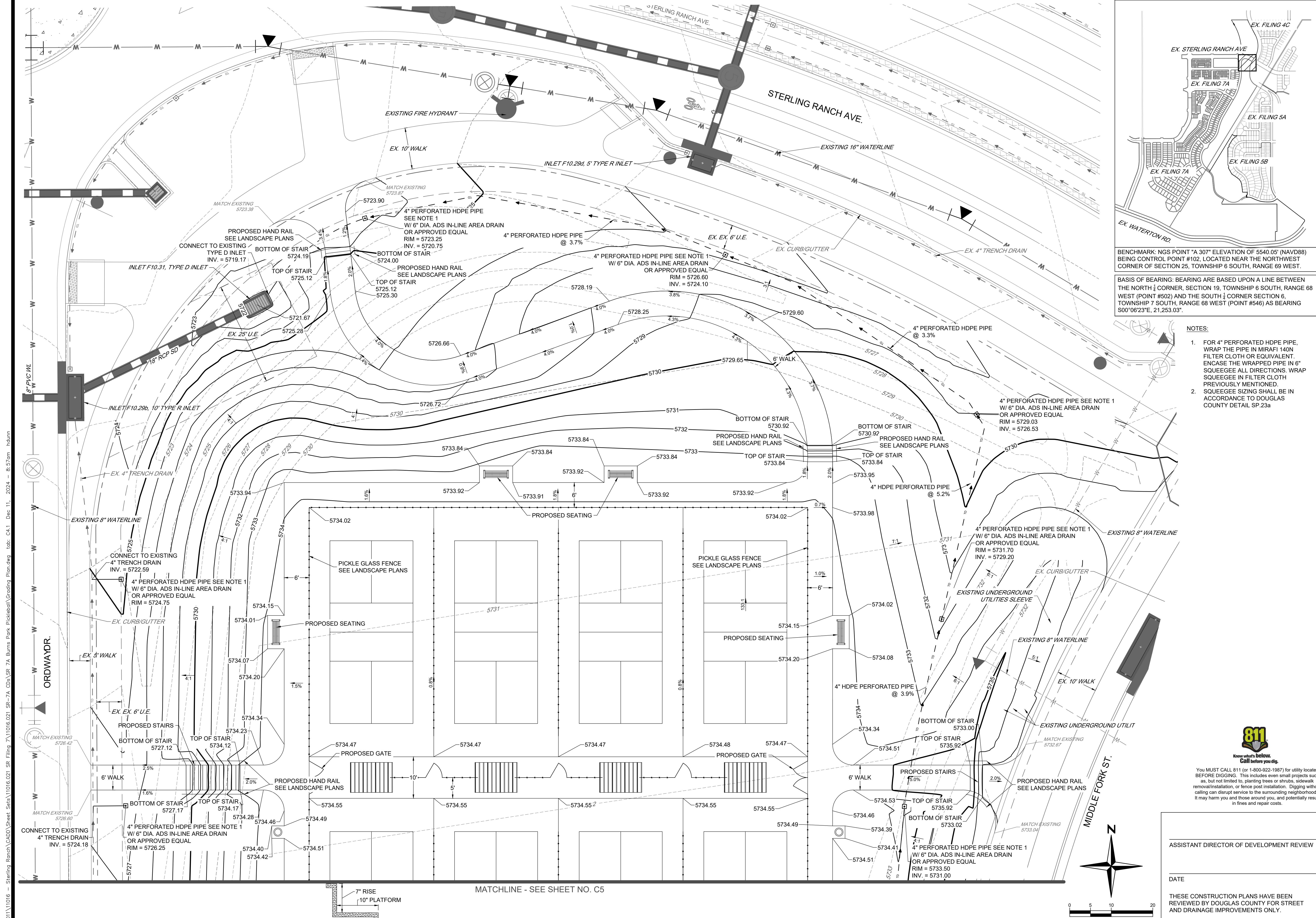


ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

DATE

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ENGINEERING DIVISION ACCEPTANCE BLOCK



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- NOTES:
- FOR 4" PERFORATED HDPE PIPE, WRAP THE PIPE IN MIRAFI 140N FILTER CLOTH OR EQUIVALENT. ENCASE THE WRAPPED PIPE IN 6" SQUEEGEE ALL DIRECTIONS. WRAP SQUEEGEE IN FILTER CLOTH PREVIOUSLY MENTIONED.
 - SQUEEGEE SIZING SHALL BE IN ACCORDANCE TO DOUGLAS COUNTY DETAIL SP.23a



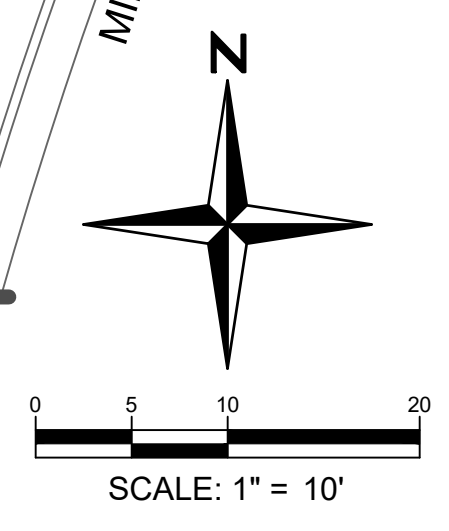
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ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

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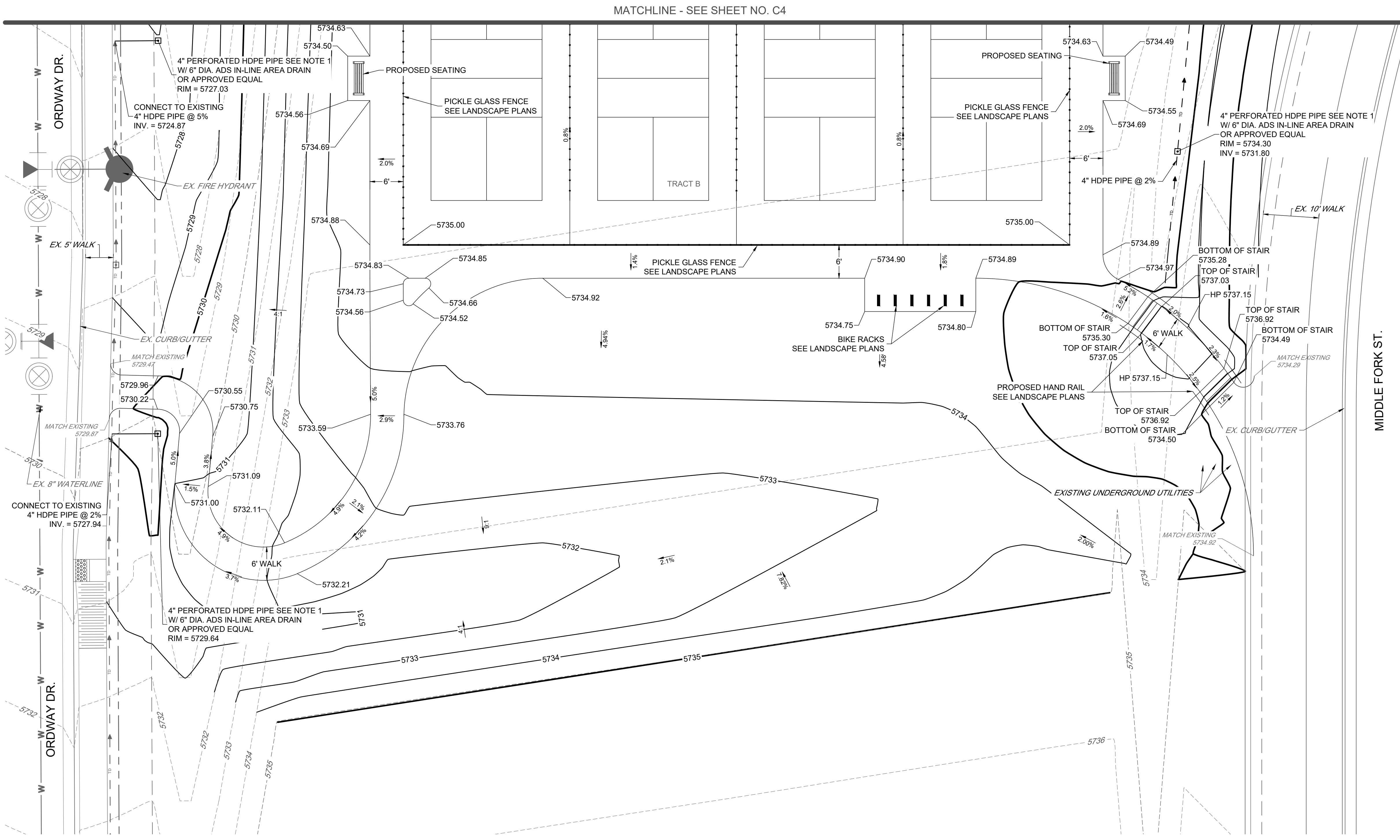


MATCHLINE - SEE SHEET NO. C5

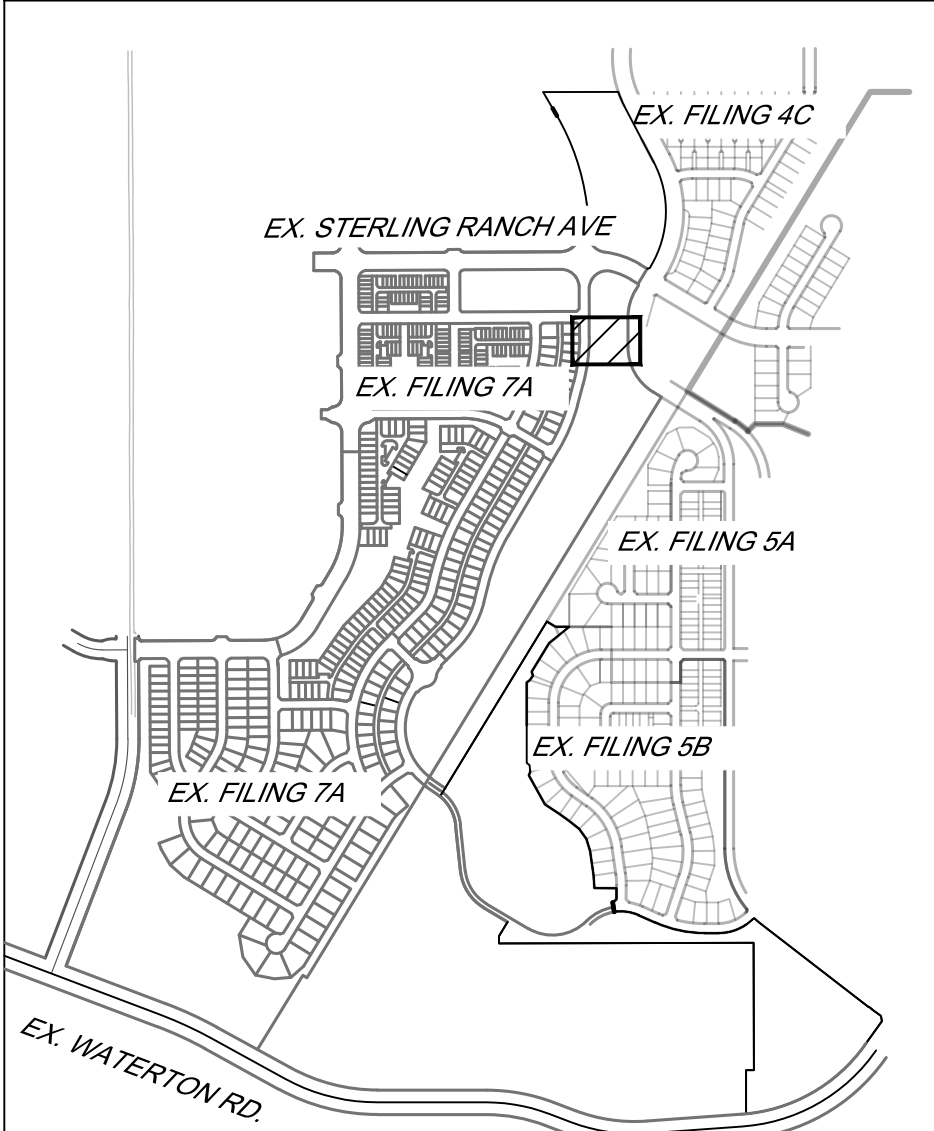
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MATCHLINE - SEE SHEET NO. C4



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 - SQUEEGEE SIZING AND PIPE PERFORATIONS SHALL BE IN ACCORDANCE TO DOUGLAS COUNTY DETAIL SP.23a.

Redland
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 Land Planning • Landscape Architecture
 Civil Engineering • Construction Management
 720.283.6783
 REDLAND.COM

PROJECT NO.	DATE	NO.	NOTES
11016.021	11/07/2024	1	FIRST SUBMITTAL
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STERLING RANCH 7A - BURNS PARK L&E
 DOUGLAS COUNTY, COLORADO
GRADING PLAN



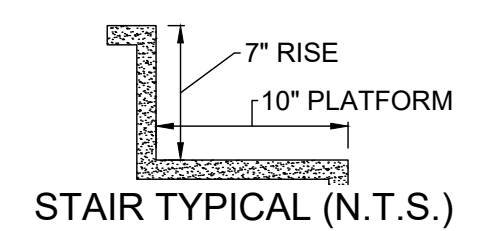
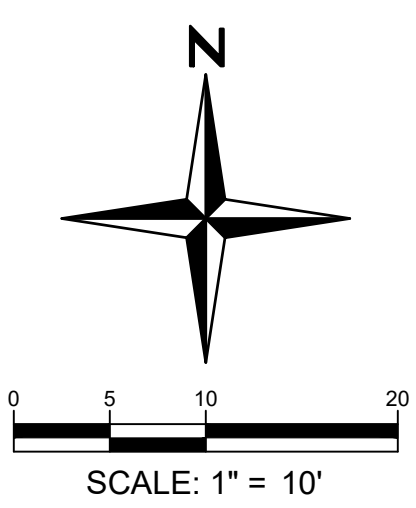
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ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

DATE

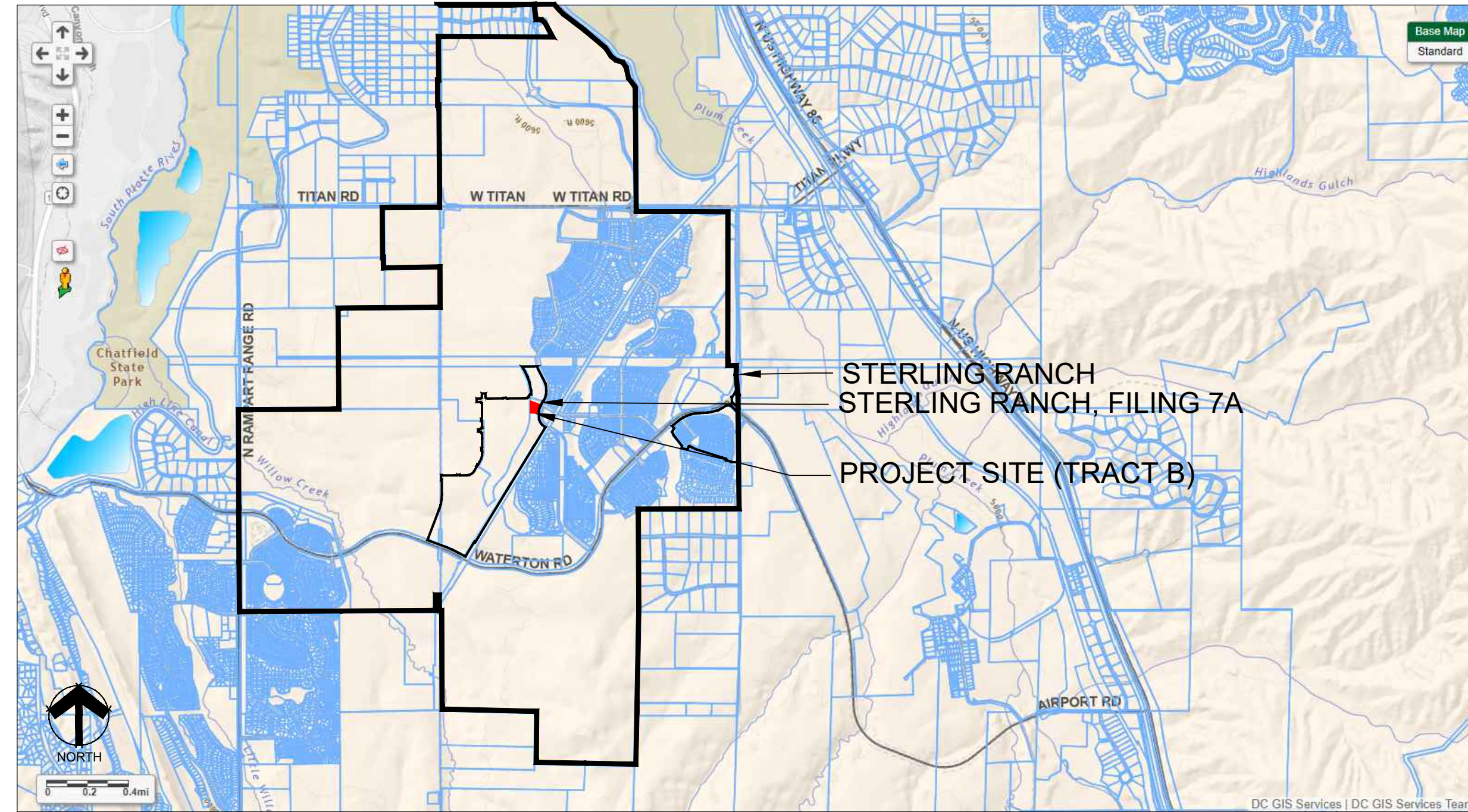
THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

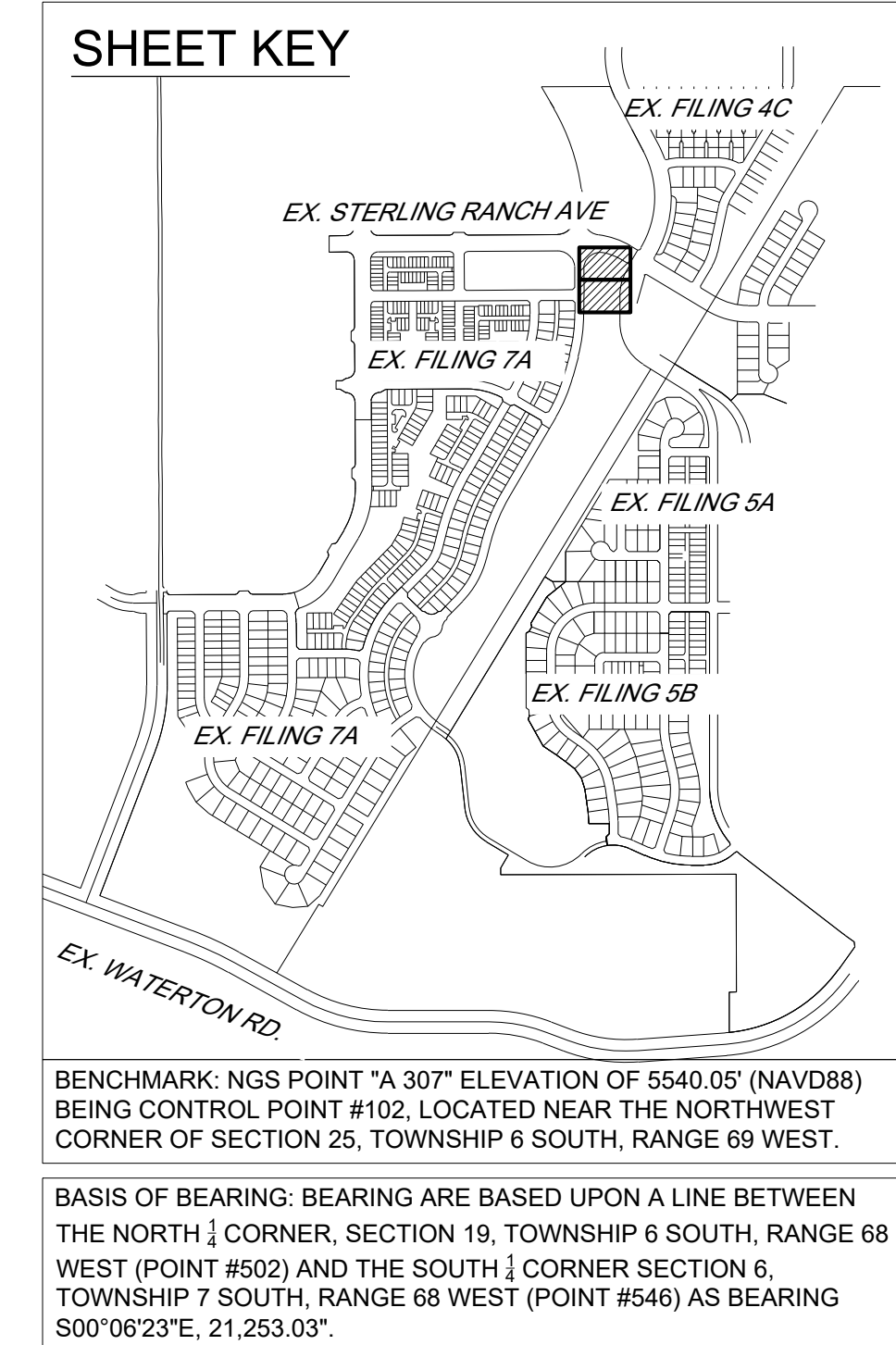


STERLING RANCH FILING NO. 7A - BURNS PARK

LOCATION AND EXTENT PLAN
 PORTION OF SECTIONS 30 AND 31, TOWNSHIP 6 SOUTH, RANGE 68 & 69,
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, COLORADO



VICINITY MAP



Contact: Curtis Davidson
 Email: curtis@pcsgroup.com
 pcs group inc. www.pcsgruopco.com
 1007 14th Street, Denver, CO 80245
 1.303.531.4905, 1.303.531.4908

NOT FOR CONSTRUCTION

PROJECT NOTES.

1. THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
2. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SCHEDULES.
3. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL GIVE THE COUNTY ENGINEER TWENTY-FOUR(24) HOURS ADVANCED NOTICE.
4. ALL DAMAGED EXISTING CURB, GUTTER AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
5. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, CHERRY DRIVE SOUTH, DENVER COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3590.
6. IF DEWATERING IS TO BE USED TO INSTALL UTILITIES, THEN A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED IF DISCHARGE IS INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH, OR ANY WATERS OF THE UNITED STATES. PERMITEE IS RESPONSIBLE FOR ANY UTILITIES DISRUPTED BY THE CONSTRUCTION OF THIS ACCESS AND ALL EXPENSES INCURRED FOR THEIR REPAIR.
7. LOCATION OF EXISTING UTILITIES, EASEMENTS AND TOPOGRAPHY SHOWN ON THESE PLANS HAS BEEN PROVIDED BY OTHERS. PCS GROUP, INC. ASSUMES NO RESPONSIBILITY FOR ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. TEMPORARY EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR DURING CONSTRUCTION AS IDENTIFIED ON THE EROSION CONTROL PLAN. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
10. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT PREPARED FOR THIS PROJECT AND APPROVED BY THE COUNTY ENGINEER.
11. ALL TRAFFIC CONTROL DEVICES, STRIPING AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE WORK. QUALITY CONTROL TEST RESULTS MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE COUNTY'S REQUIREMENTS.
13. THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE OWNER'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE COUNTY WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE OF THE PROJECT BY THE COUNTY.
14. PROPOSED SPOT ELEVATIONS AND CONTOURS ARE BASED ON OVERLOT GRADING BASE FILES AND EXISTING TOPO BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS GRADING INFORMATION OR EXISTING AS-BUILT GRADING CONDITIONS. CONTRACTOR TO VERIFY ACCURACY OF AS-BUILT GRADING WITH PROPOSED DESIGN AND NOTIFY THE LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.

LANDSCAPE SHEET INDEX

- L0.0 - LANDSCAPE COVER SHEET
- L0.1 - LANDSCAPE NOTES
- L0.2 - LANDSCAPE SCHEDULE
- L1.0 - L1.1 LANDSCAPE PLAN
- L2.0 - L2.2 LANDSCAPE DETAILS



**Know what's below.
 Call before you dig.**

You MUST CALL 811 (or 1-800-922-1987) for utility locates BEFORE DIGGING. This includes even small projects such as, but not limited to, planting trees or shrubs, sidewalk removal/installation, or fence post installation. Digging without calling can disrupt service to the surrounding neighborhoods. It may harm you and those around you, and potentially result in fines and repair costs.

ASSISTANT DIRECTOR OF DEVELOPMENT REVIEW

DATE

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED BY DOUGLAS COUNTY FOR STREET AND DRAINAGE IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PROJECT NO. 10162021	DATE 11/07/2024	NO. 1	NOTES FIRST SUBMITTAL
	DATE 12/17/2024	NO. 2	NOTES SECOND SUBMITTAL

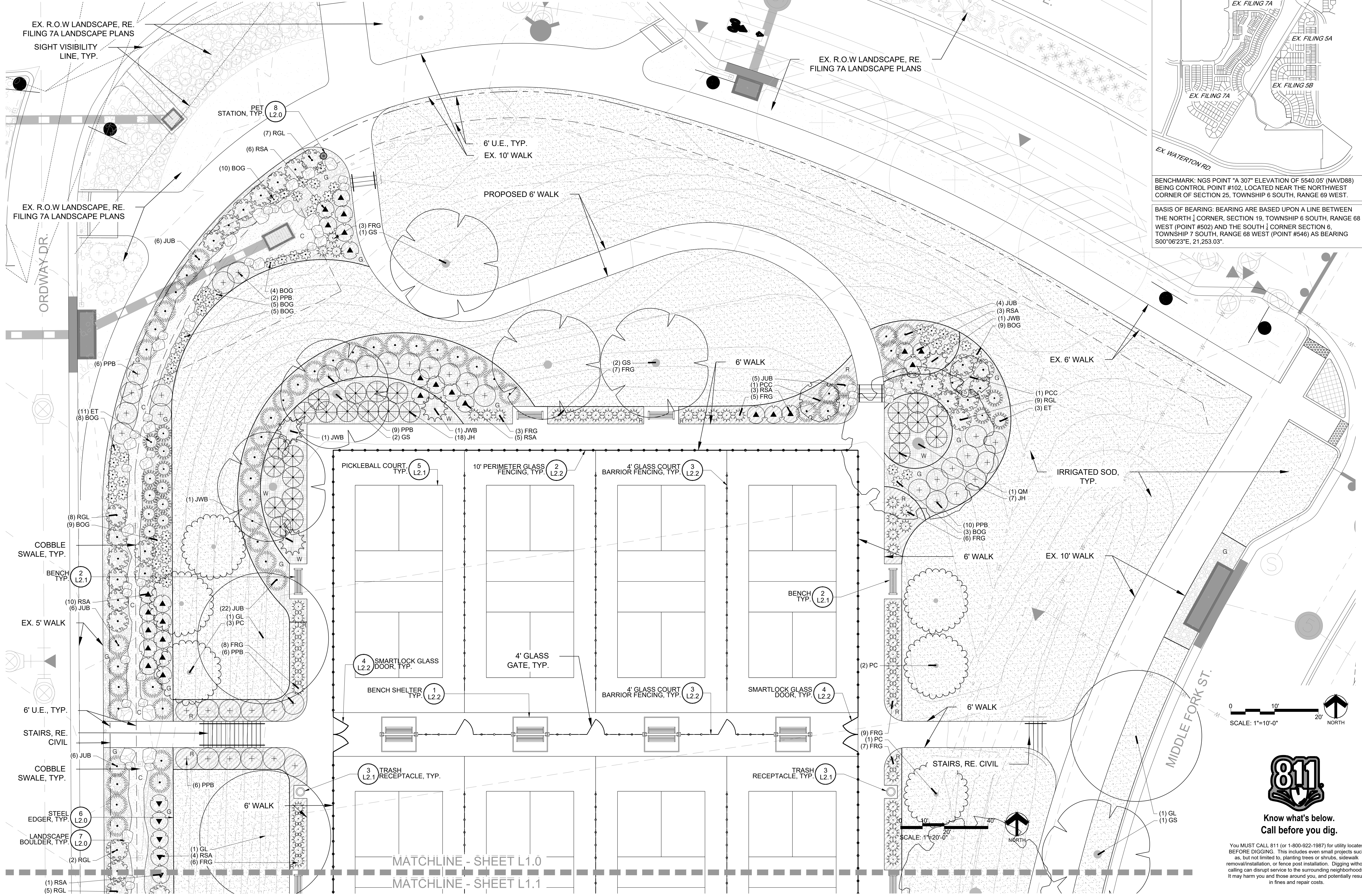
STERLING RANCH - BURNS PARK L&E
 DOUGLAS COUNTY, COLORADO
LANDSCAPE COVER SHEET

SHEET **L0.0**

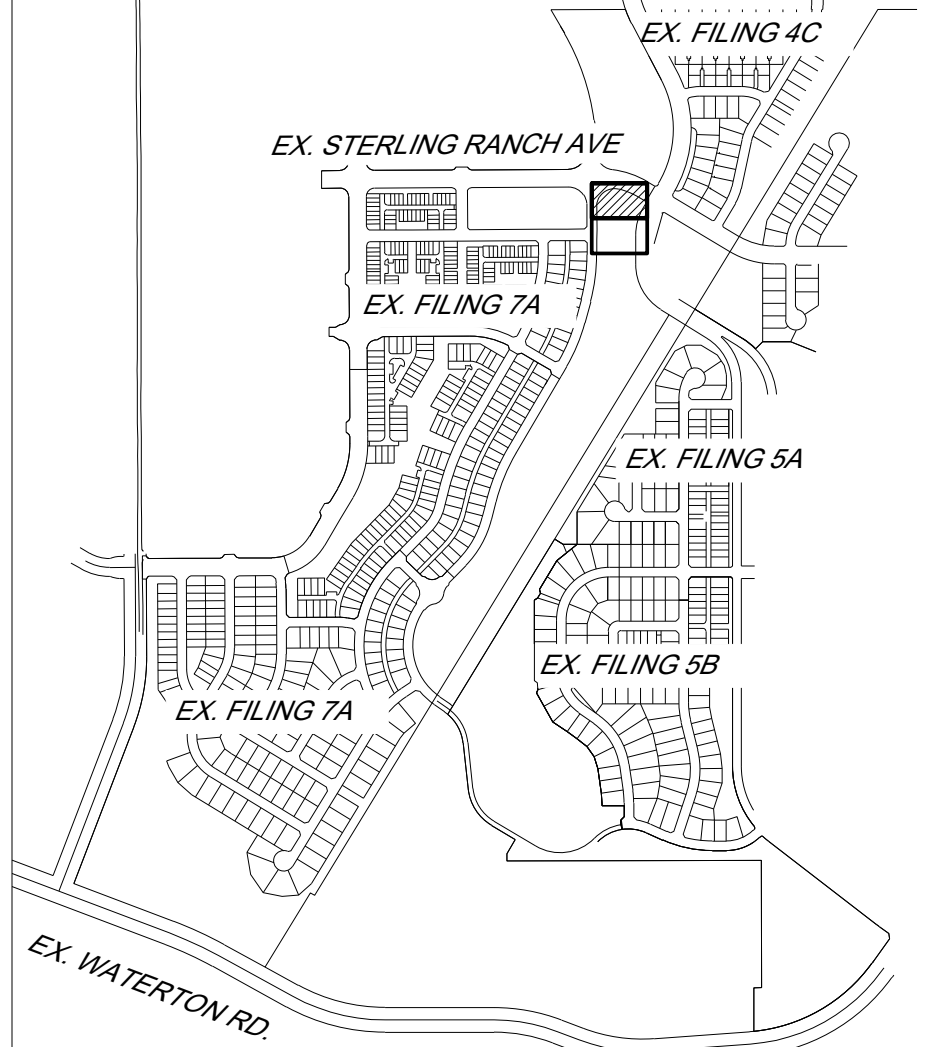
SHEET 1 OF 8

NOTES:

1. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION, AS APPLICABLE.
2. LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE STERLING RANCH C.A.B. OR METRO DISTRICT, SUCCESSOR, AND / OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE GROWING SEASON.
3. ANY WALL, TIERED WALL OR MONUMENT OVER FOUR FEET IN HEIGHT REQUIRES A PERMIT FROM THE DOUGLAS COUNTY BUILDING DIVISION PRIOR TO CONSTRUCTION. DETAILED PLANS FOR ANY WALL OVER FOUR (4) FEET IN HEIGHT WILL BE SUBMITTED TO THE DOUGLAS COUNTY BUILDING DIVISION PRIOR TO THE ISSUANCE OF THE REQUIRED BUILDING PERMIT.
4. ALL DECIDUOUS TREES WITHIN SIGHT DISTANCE TRIANGLES IN THE R.O.W SHALL BE LIMBED UP TO A MINIMUM OF 84" MEASURED FROM THE FLOW LINE OF THE ADJACENT STREET AT TIME OF INSTALLATION. NO EVERGREEN TREES SHALL BE PERMITTED OR INSTALLED WITHIN THE SIGHT DISTANCE TRIANGLE & MAX. SHRUB HEIGHT SHALL BE 24" FROM THE FLOWLINE OF THE CURB & GUTTER WHEN IN THE R.O.W.
5. TRENCH DRAINS SHALL BE INSTALLED CONCURRENT WITH THE ADJACENT ROADWAY CONSTRUCTION. SEE CIVIL PLANS FOR TRENCH DRAIN DESIGN AND LOCATIONS.
6. MONUMENT/SIGNAGE LOCATIONS (IF ANY) ARE APPROXIMATE AND SUBJECT TO CHANGE. FINAL DESIGN/LAYOUT SHALL BE PROVIDED UNDER SEPARATE SIGN PERMIT PROCESS.



SHEET KEY



BENCHMARK: NGS POINT "A 307" ELEVATION OF 5540.05' (NAVD88) BEING CONTROL POINT #102, LOCATED NEAR THE NORTHWEST CORNER OF SECTION 25, TOWNSHIP 6 SOUTH, RANGE 69 WEST.

BASIS OF BEARING: BEARING ARE BASED UPON A LINE BETWEEN THE NORTH CORNER, SECTION 19, TOWNSHIP 6 SOUTH, RANGE 68 WEST (POINT #502) AND THE SOUTH CORNER SECTION 6, TOWNSHIP 7 SOUTH, RANGE 68 WEST (POINT #546) AS BEARING S00°06'23"E, 21,253.03'.

Contact: Curtis Davidson
 Email: curtis@pcsgroup.com
 pcs group inc. www.pcsgroup.com
 1007 16th Street, Denver, CO 80202
 1.303.531.4905, 1.303.531.4908

NOT FOR CONSTRUCTION

PROJECT NO.	DATE	NO.	NOTES
11072024	12/17/2024	1	FIRST SUBMITTAL
		2	SECOND SUBMITTAL

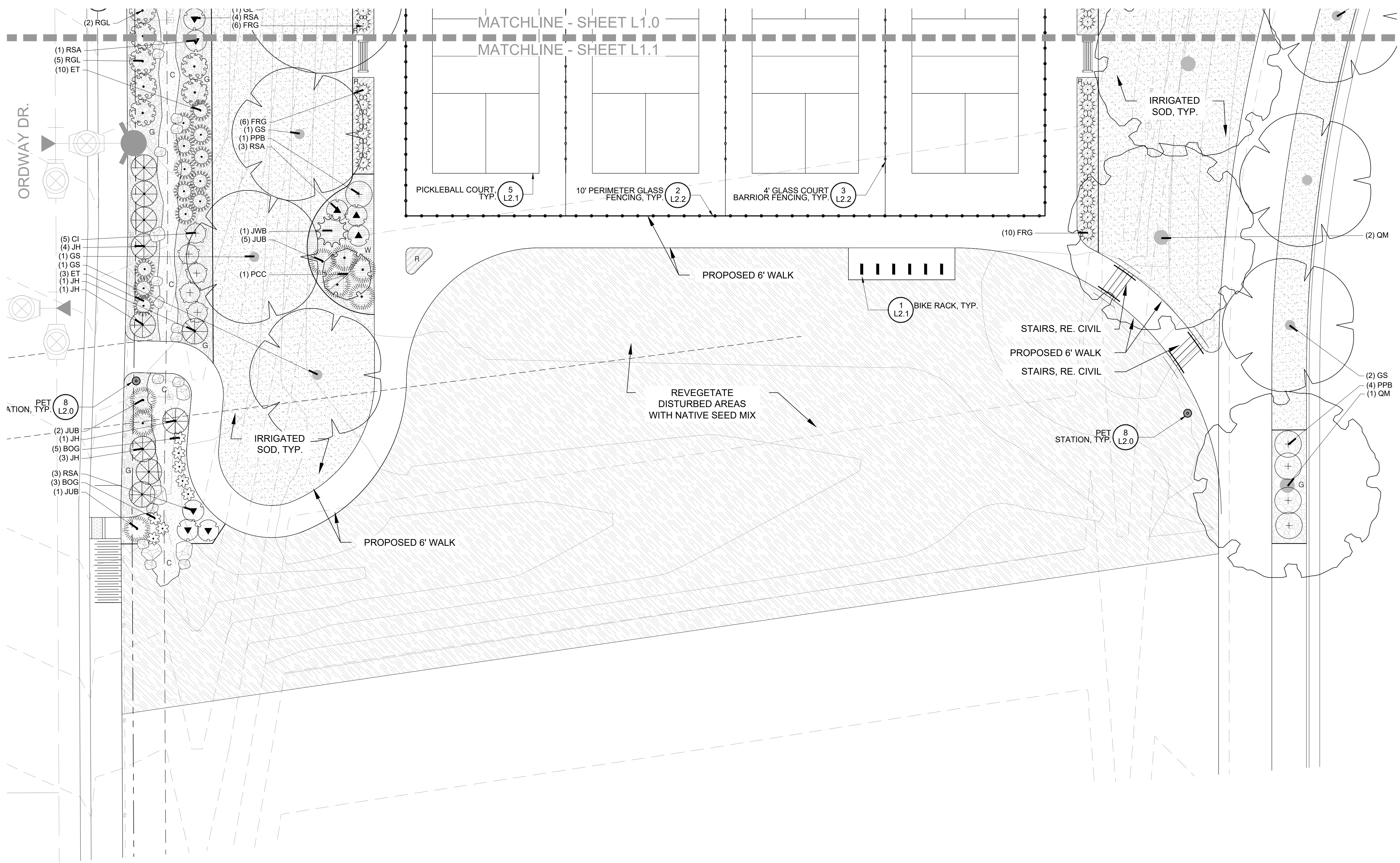
STERLING RANCH - BURNS PARK L&E
 DOUGLAS COUNTY, COLORADO
LANDSCAPE PLAN

SHEET
L1.0
 SHEET 4 OF 8



Know what's below.
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SHEET KEY

EX. STERLING RANCH AVE
EX. FILING 7A
EX. FILING 7C
EX. FILING 5A
EX. FILING 5B
EX. FILING 7A
EX. WATERTON RD.

BENCHMARK: NGS POINT "A 307" ELEVATION OF 5540.05' (NAVD88) BEING CONTROL POINT #102, LOCATED NEAR THE NORTHWEST CORNER OF SECTION 25, TOWNSHIP 6 SOUTH, RANGE 69 WEST.

BASIS OF BEARING: BEARING ARE BASED UPON A LINE BETWEEN THE NORTH 1/4 CORNER, SECTION 19, TOWNSHIP 6 SOUTH, RANGE 68 WEST (POINT #502) AND THE SOUTH 1/4 CORNER SECTION 6, TOWNSHIP 7 SOUTH, RANGE 68 WEST (POINT #546) AS BEARING S00°06'23"E, 21,253.03'.

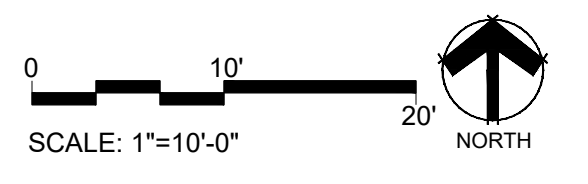
Contact: Curtis Davidson
Email: curtis@pcsgroupco.com
pcsgroupco.com
1007 16th Street, Denver, CO 80202
1.303.531.4905, 1.303.531.4908

NOT FOR CONSTRUCTION

PROJECT NO.	DATE	NO.	NOTES
10162021	1/10/2024	1	FIRST SUBMITTAL
		2	SECOND SUBMITTAL

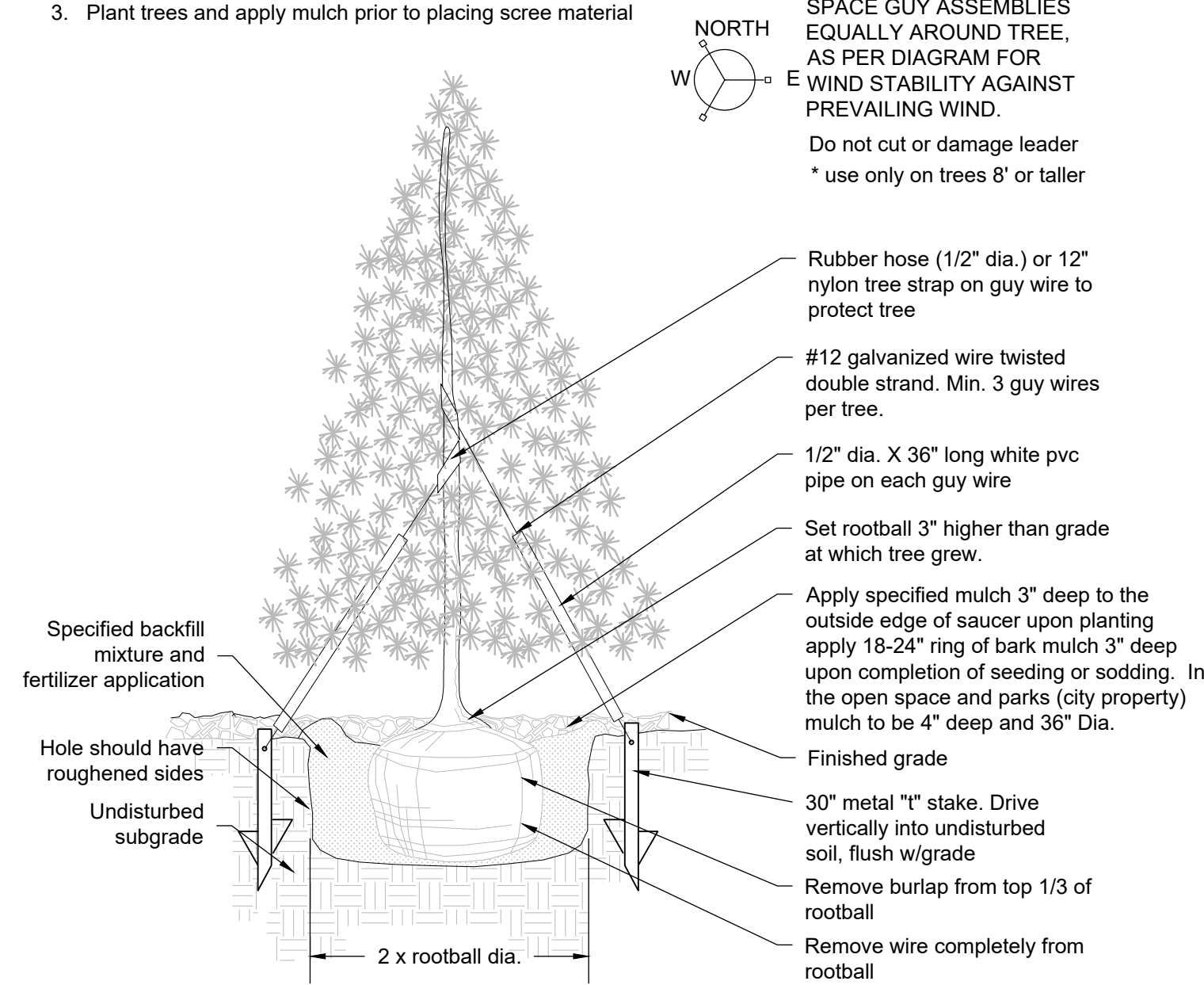
STERLING RANCH - BURNS PARK L&E
DOUGLAS COUNTY, COLORADO
LANDSCAPE PLAN

- NOTES:**
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, AND SIMILAR FEATURES ARE NOT SHOWN ON THE SIP, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION, AS APPLICABLE.
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 - ALL DECIDUOUS TREES WITHIN SIGHT DISTANCE TRIANGLES IN THE R.O.W SHALL BE LIMBED UP TO A MINIMUM OF 84" MEASURED FROM THE FLOW LINE OF THE ADJACENT STREET AT TIME OF INSTALLATION. NO EVERGREEN TREES SHALL BE PERMITTED OR INSTALLED WITHIN THE SIGHT DISTANCE TRIANGLE & MAX. SHRUB HEIGHT SHALL BE 24" FROM THE FLOWLINE OF THE CURB & GUTTER WHEN IN THE R.O.W.
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 - MONUMENT/SIGNAGE LOCATIONS (IF ANY) ARE APPROXIMATE AND SUBJECT TO CHANGE. FINAL DESIGN/LAYOUT SHALL BE PROVIDED UNDER SEPARATE SIGN PERMIT PROCESS.



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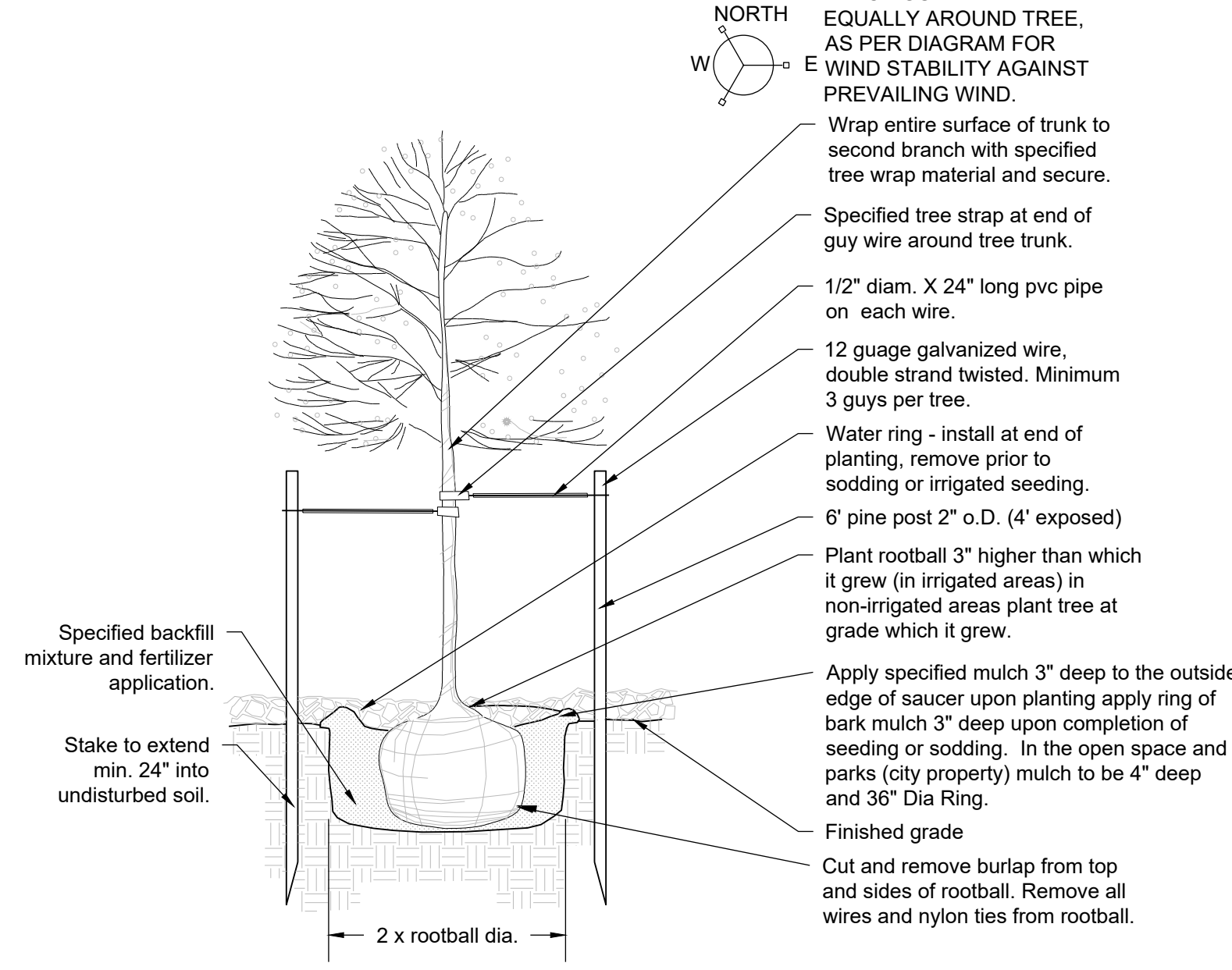
- Notes:
- Any broken or crumbling rootballs will be rejected. Removing the containers will not be an excuse for damaged rootballs
 - Trees planted within drain strip or scree area shall have 3'-0" diameter ring of mulch 5" deep at the base of each tree
 - Plant trees and apply mulch prior to placing scree material



1 EVERGREEN TREE PLANTING

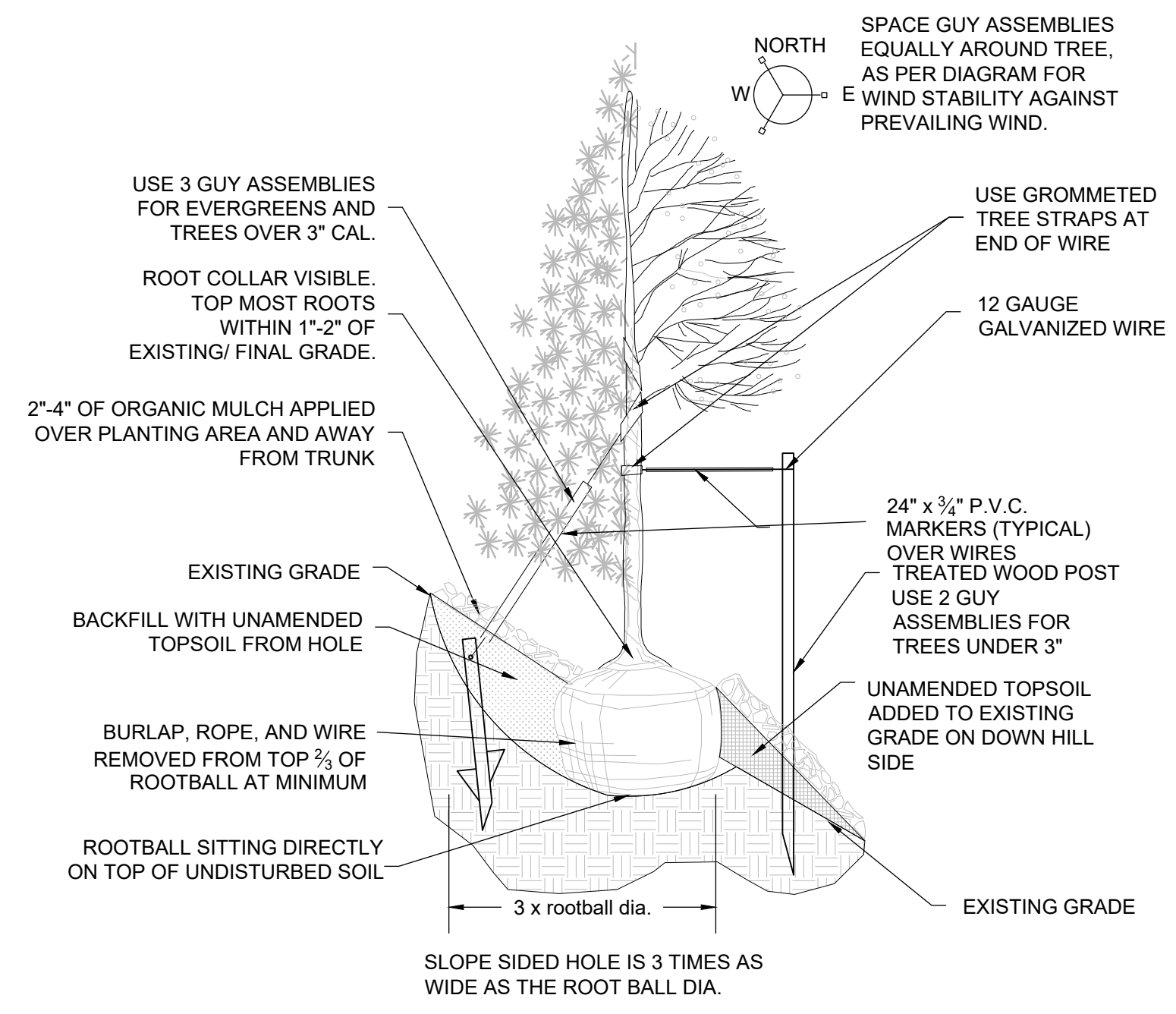
N.T.S.

- Notes:
- Any broken or crumbling rootballs will be rejected. Removing the containers will not be an excuse for damaged rootballs
 - Trees planted within drain strip or scree area shall have 3'-0" diameter ring of mulch 5" deep at the base of each tree
 - Plant trees and apply mulch prior to placing scree material
 - Street trees are to be limbed up to 8'. Pruning shall occur in the appropriate manner at the nursery. Substantial pruning will not be allowed on-site.



2 DECIDUOUS TREE PLANTING

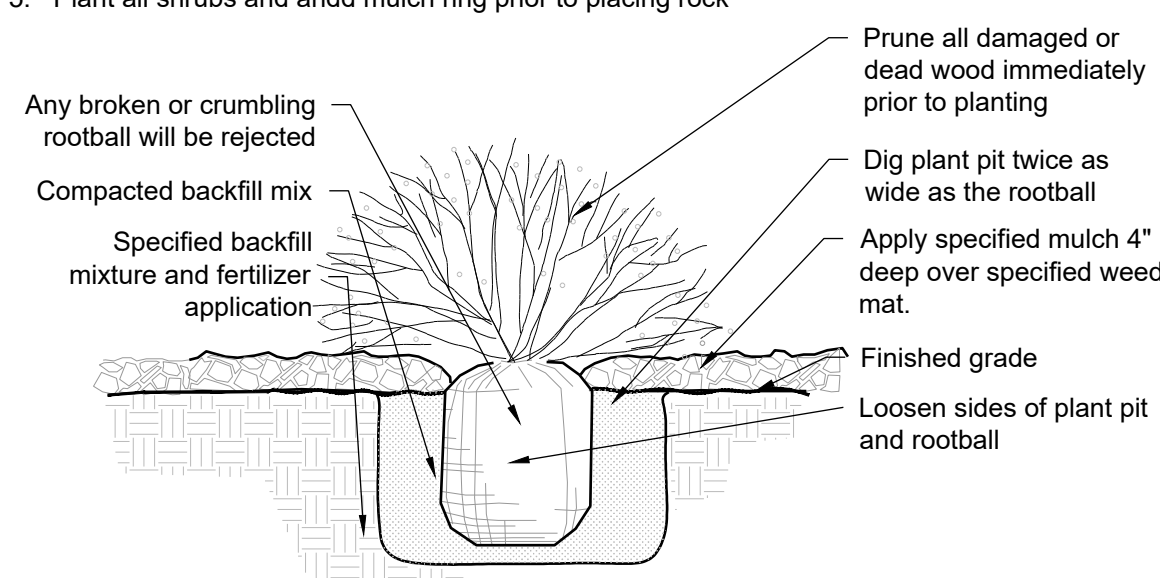
- Notes:
- Broken or crumbling rootballs will be rejected. Removing the containers will not be an excuse for damaged rootballs.
 - Prune all dead or damaged wood after planting.



3 TREE PLANTING ON SLOPES

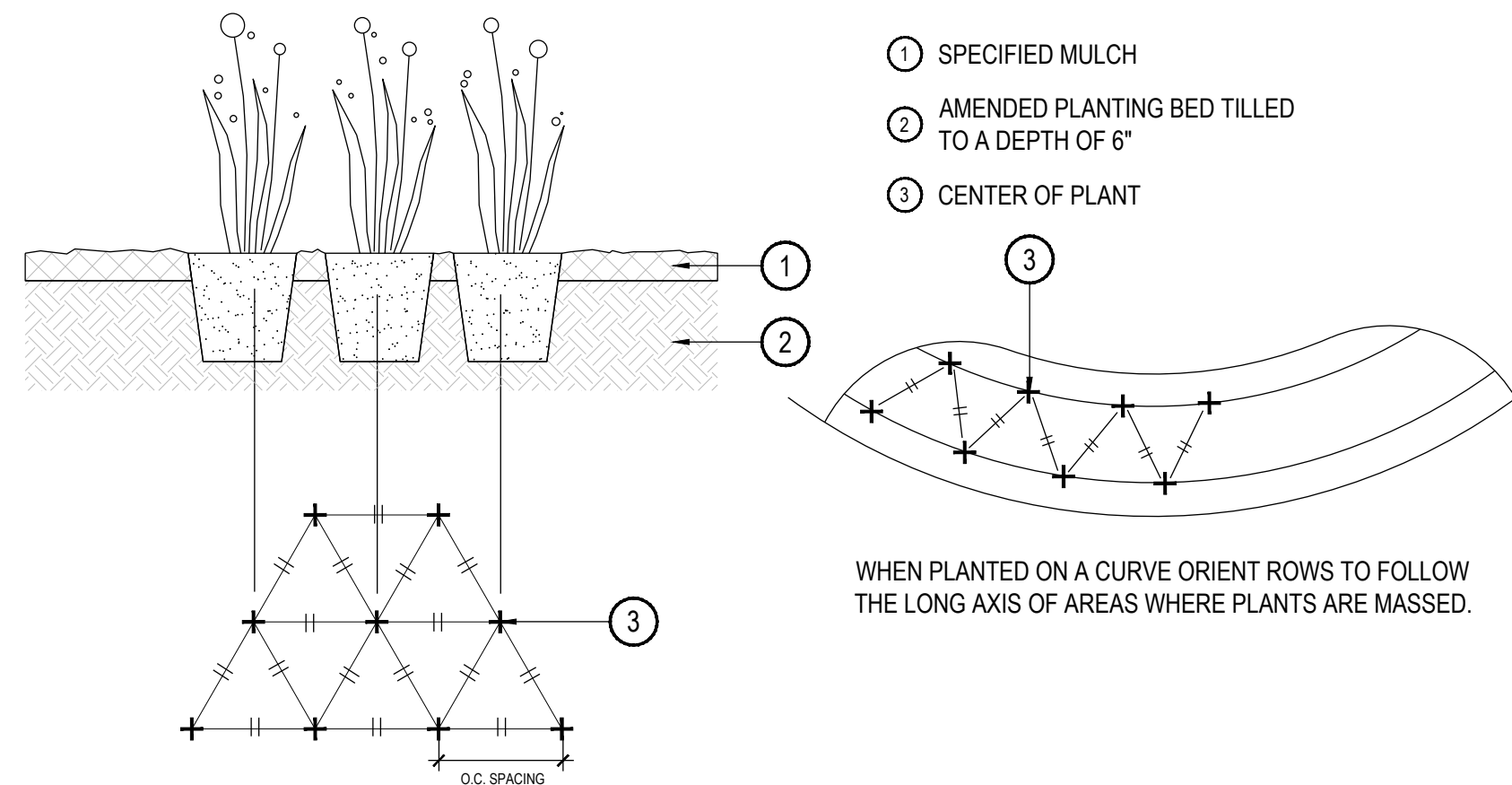
N.T.S.

- Notes:
- Any broken or crumbling rootballs will be rejected. Removing the containers will not be an excuse for damaged rootballs
 - Hold grade 1" below edge of walk or curb.
 - All juniper plants should be planted so top of root mass occurs at finish grade of mulch layer
 - Shrubs planted within the drain strip or scree areas shall have a 12" diameter ring of mulch at the base of each shrub
 - Plant all shrubs and mulch ring prior to placing rock



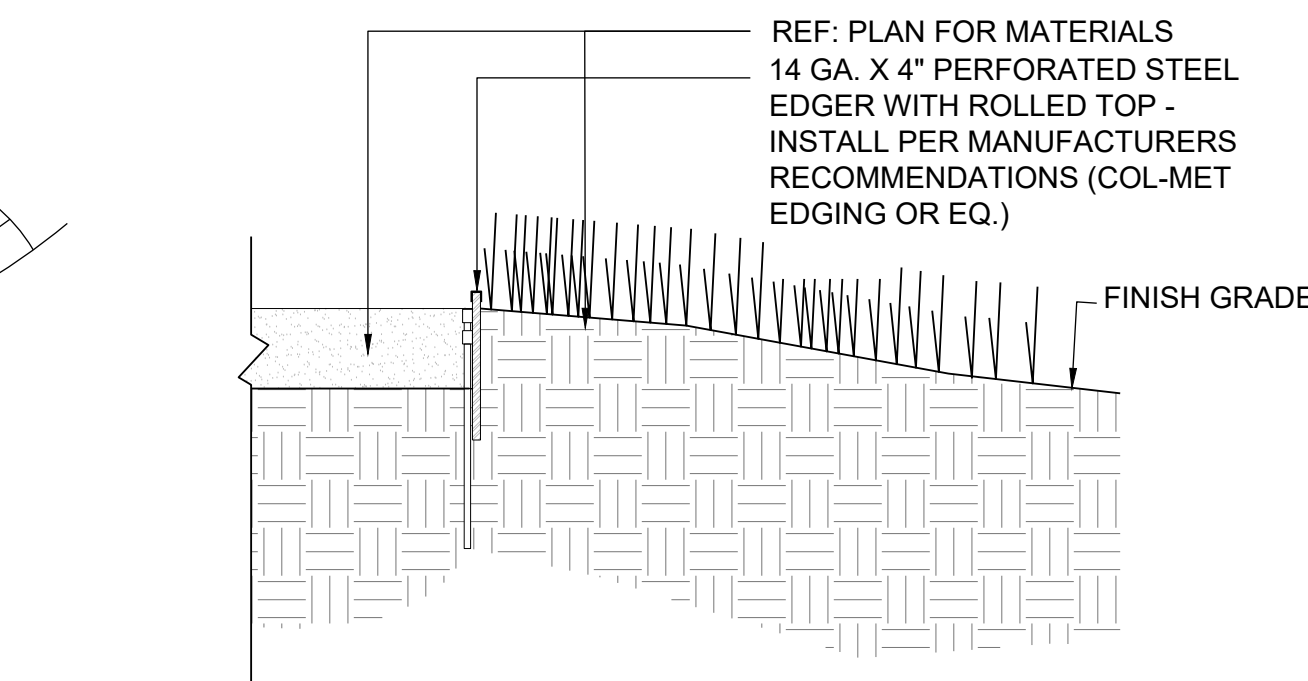
4 SHRUB PLANTING

N.T.S.



5 ORNAMENTAL GRASS / PERENNIAL PLANTING

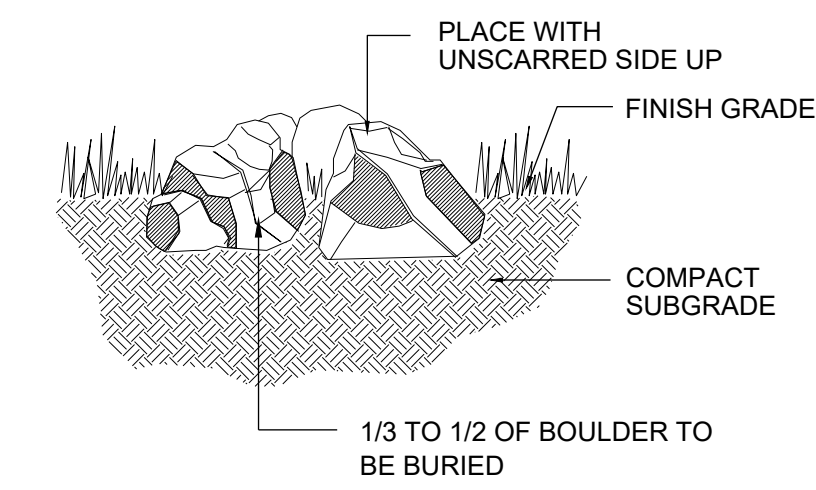
N.T.S.



6 STEEL EDGER

N.T.S.

- NOTES:
- BOULDERS TO BE 'GOLD ORE' BOULDERS FROM JENSEN SALES COMPANY (303-791-4250) OR APPROVED EQUAL.
 - (61) BOULDERS TOTAL; (40) 0.5-TON, (21) 1-TON



7 LANDSCAPE BOULDER

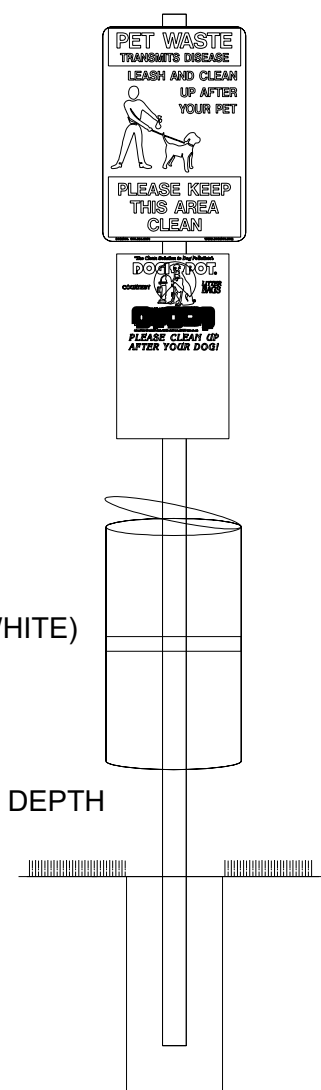
N.T.S.

DOGIPOT STATION
WWW.DOGIPOT.COM
OR APPROVED EQUAL

- REQUIRED ACCESSORIES:
- PET SIGN (FOREST GREEN ON WHITE)
 - BAG DISPENSER
 - TRASH RECEPTACLE WITH LID
 - STEEL MOUNTING POST

PROVIDE POST HOLE WIDTH AND DEPTH PER MANUF. SPECS.

- NOTES:
- (3) PET STATIONS TOTAL
 - COLOR: GREEN



8 PET STATION
OR APPROVED EQUAL

N.T.S.

- NOTES:
- HANDRAIL AT STAIRS TO BE 'ROUND HANDRAIL SYSTEM' BY FORTRESS BUILDING PRODUCTS, INSTALLED ON FORTRESS METAL POSTS (<https://fortressbp.com/railing/handrail-systems>) OR APPROVED EQUAL.
 - POSTS AND RAILING TO BE INSTALLED TO MEET ALL APPLICABLE LOCAL CODES.
 - INSTALL PER MANUFACTURER SPECIFICATIONS.
 - COLOR/FINISH: GLOSS BLACK
 - SEE CIVIL PLANS FOR HANDRAIL LOCATIONS.

9 HANDRAIL
OR APPROVED EQUAL



N.T.S.

Contact: Curtis Davidson
Email: curtis@pcsgroupco.com
pcsgroupco.com
1107 14th Street, Denver, CO 80202
1.303.531.4905 | 1.303.531.4908

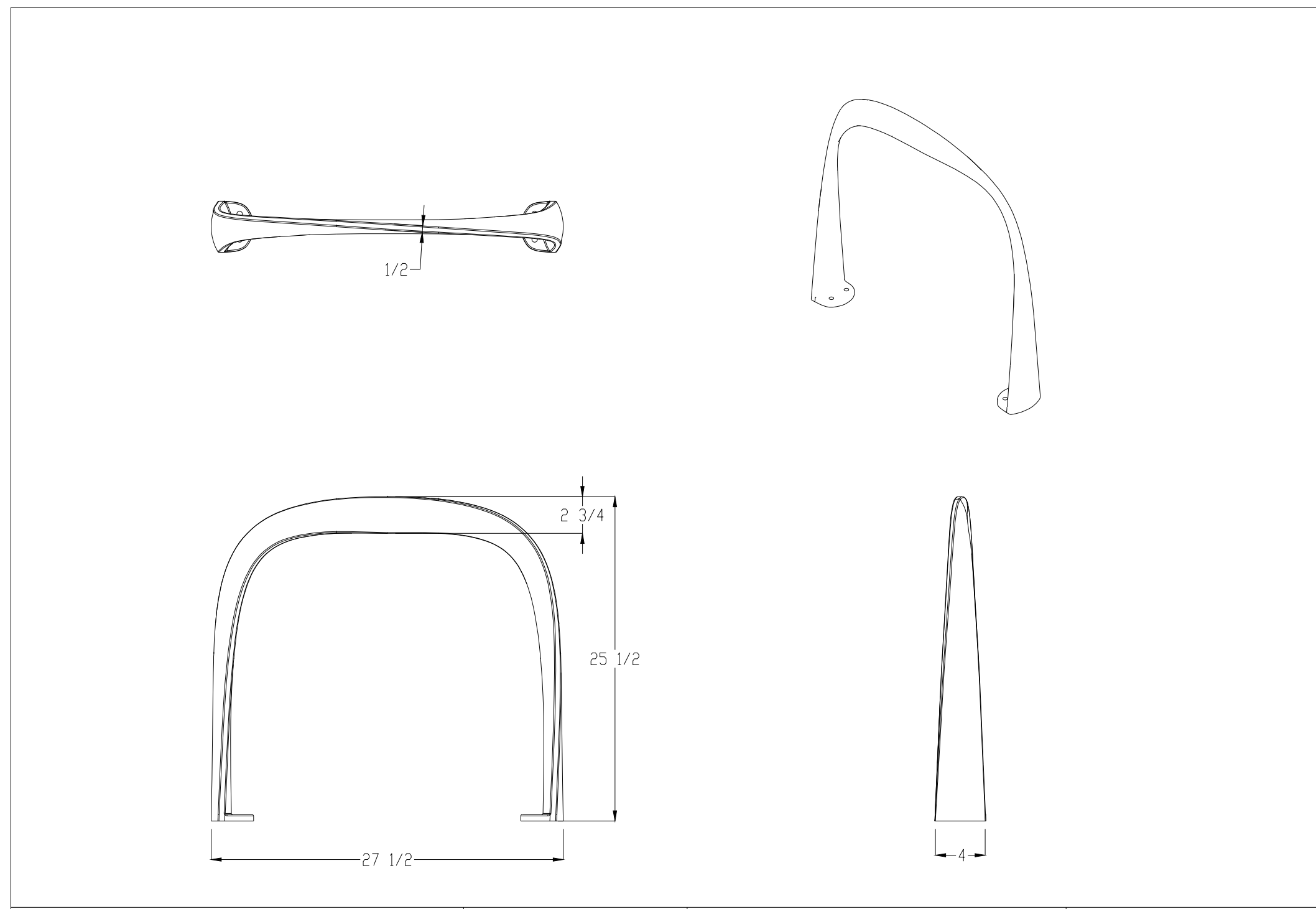
pcs group

NOT FOR CONSTRUCTION

PROJECT NO.	DATE	NO.	DATE	NO.	DATE	NO.
11072024	1/21/2024	1	1/21/2024	2		

STERLING RANCH - BURNS PARK L&E
DOUGLAS COUNTY, COLORADO
LANDSCAPE DETAILS

SHEET
L2.0
SHEET 6 OF 8



MAGLIN	MAGLIN SITE FURNITURE INC.	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF MAGLIN SITE FURNITURE INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF MAGLIN SITE FURNITURE INC. IS PROHIBITED.	TITLE: SCBR1602 BIKE RACK	DATE: AUG/23/2012	DRAWN BY: C.MOUSLEY	SHEET: 1 OF 1
	WWW.MAGLIN.COM TEL: 800-716-5506 FAX: 877-260-9393		PART NO: SCBR1602	SCALE: 1/8"=1'-0"	REV: 0	APPX:

- NOTES:
- BIKE RACKS TO BE MAGLIN SCBR1600-S POWDERCOAT. OR APPROVED EQUAL
 - (6) BIKE RACKS TOTAL. SURFACE MOUNT - INSTALL PER MANUFACTURER SPECIFICATIONS.
 - CONTACT: BECKY RATTE 800-716-5506, EBRAATTE@maglin.com

1 BIKE RACK

N.T.S.

2 BENCH
OR APPROVED EQUAL

N.T.S.

RCPWC6 — Wainwright 6' Contour Bench

6' contour bench with recycled plastic seat and back planks, steel frame and legs.

Material
The 4' contour bench is constructed of .38" thick x 4" wide formed steel end legs and frame with 1.5" x 3.5" (2" x 4" nominal dimensions) recycled plastic planks for the seat and back rest. The bench is 72" long and will support 200 lbs. per linear foot.

The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled 5" diameter holes in feet to prevent movement. Mounting hardware is not included.

The planks are made of 95% recycled content by weight and are impervious to moisture and corrosion, do not require the application of sealants or preservatives, and will never need painting or staining throughout the product's life.

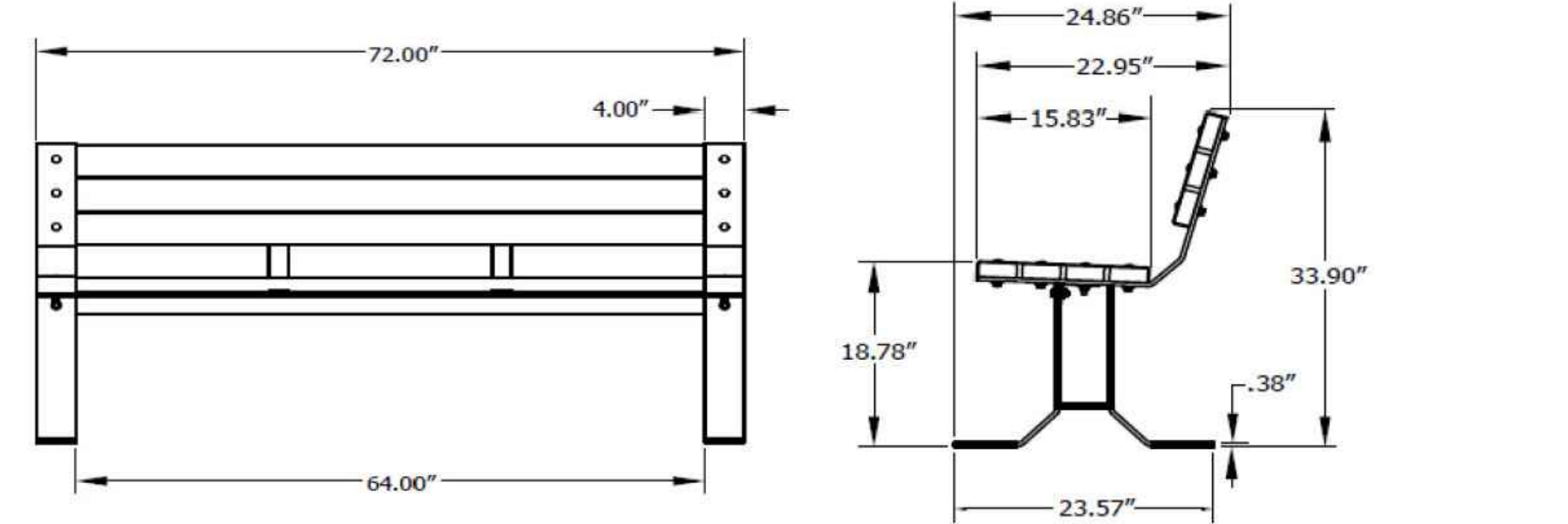
Finish
Fade-resistant, powder coated steel frame features a state-of-the-art primer proven to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

Color
See website or sales representative for color choices.

Assembly
The bench requires some assembly. Stainless steel assembly hardware is included.

Maintenance
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty
20-year limited structural warranty on recycled plastic from the date of purchase. See full details on multi-year warranties for components at www.anovafurnishings.com/warranty.aspx.



- NOTES:
- BENCHES TO BE ANOVA WAINWRIGHT 6' CONTOUR BENCH OR APPROVED EQUAL. PLASTIC SLAT COLOR: MAHOGANY, FRAME COLOR: TEXTURED PEWTER
 - (6) BENCHES TOTAL. SURFACE MOUNT ON CONCRETE PAD.
 - INSTALL PER MANUFACTURER SPECIFICATIONS.
 - CONTACT: KATE.B@ANOVAFURNISHINGS.COM (720) 584-4327

RCPWCT— Wainwright Receptacle with Curved Top

45-gallon receptacle with recycled plastic slats, curved top, plastic liner and rubber feet.

Material
The 45-gallon receptacle is 41.34" tall and is composed of .75" x 3.5" (1" x 4" nominal dimensions) recycled plastic slats which are supported by an extruded aluminum frame.

The curved top is made of 14-gauge steel and covers an 11" diameter center top opening to keep out the elements. The top lifts off for easy trash removal and includes dual stainless steel security cables.

The receptacle is designed to be portable for flexibility in placement and feature rubber feet to protect the floor. The reusable plastic liner is made of high-density polyethylene.

The planks are made of 95% recycled content by weight and are impervious to moisture and corrosion, do not require the application of sealants or preservatives, and will never need painting or staining throughout the product's life.

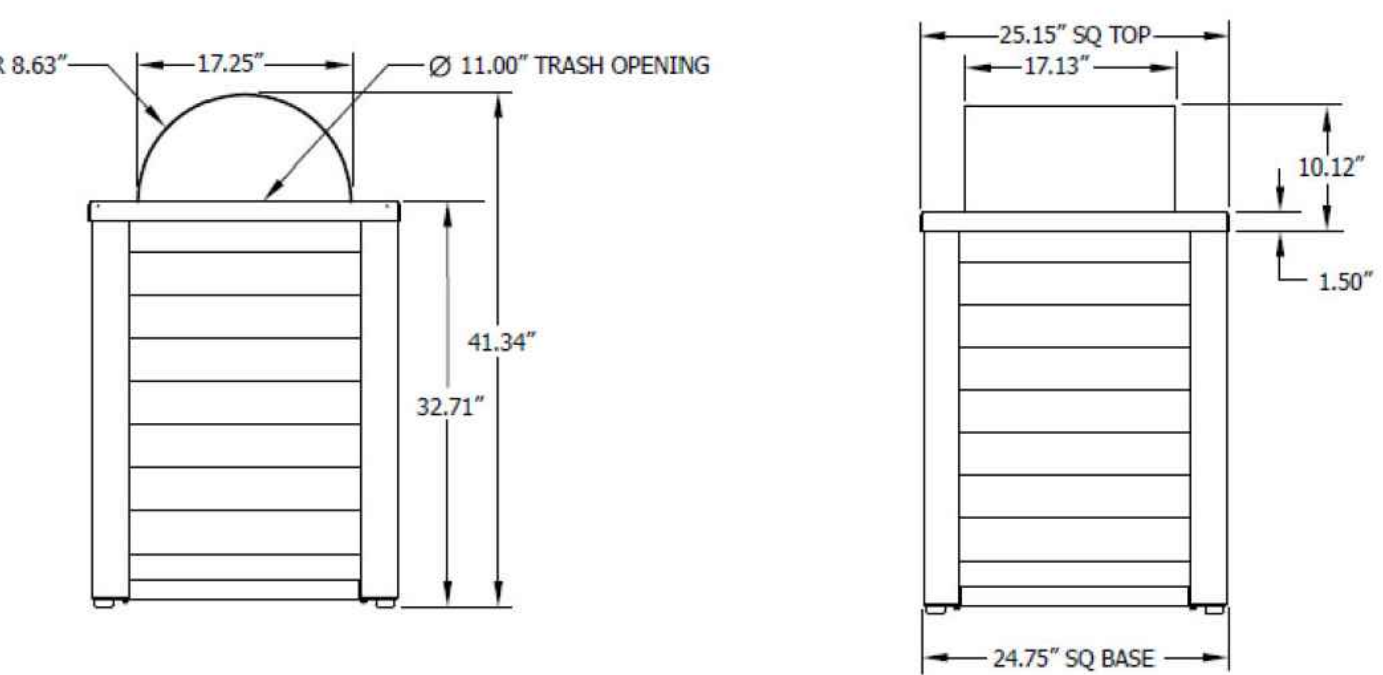
Finish
Rust-proof aluminum and rust-resistant primed steel components feature a fade-resistant powder coating. Treated components exceed the industry standard by 34% in testing by independent sources.

Color
See website or sales representative for color choices.

Assembly
The receptacle ships fully assembled and ready for use.

Maintenance
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

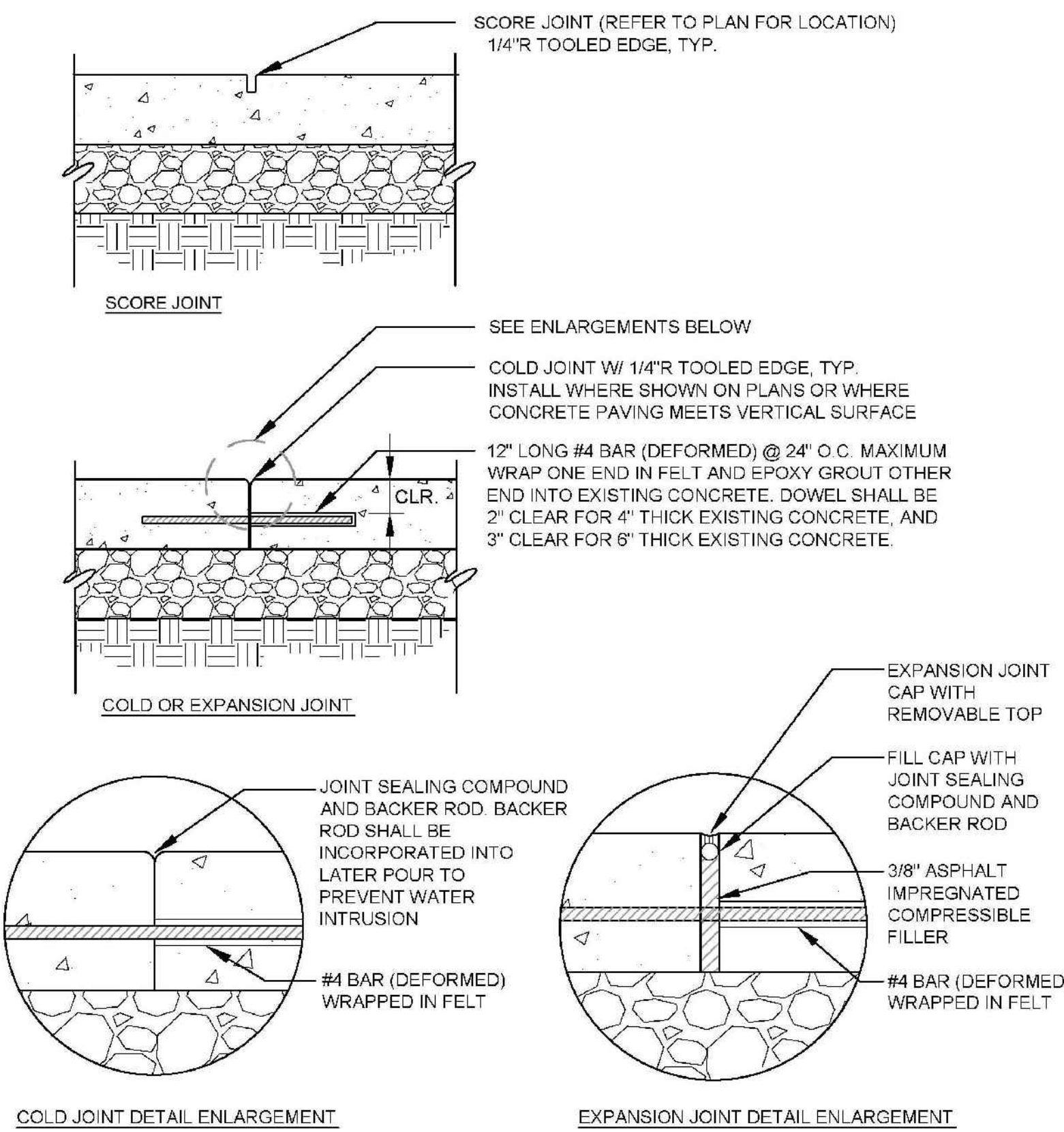
Warranty
20-year limited structural warranty on recycled plastic from the date of purchase. See full details on multi-year warranties for components at www.anovafurnishings.com/warranty.aspx.



- NOTES:
- TRASH RECEPTACLES TO BE ANOVA WAINWRIGHT 6' CONTOUR BENCH OR APPROVED EQUAL. PLASTIC SLAT COLOR: MAHOGANY, FRAME COLOR: TEXTURED PEWTER
 - (3) RECEPTACLES TOTAL. SURFACE MOUNT - INSTALL PER MANUFACTURER SPECIFICATIONS.
 - CONTACT: KATE.B@ANOVAFURNISHINGS.COM (720) 584-4327

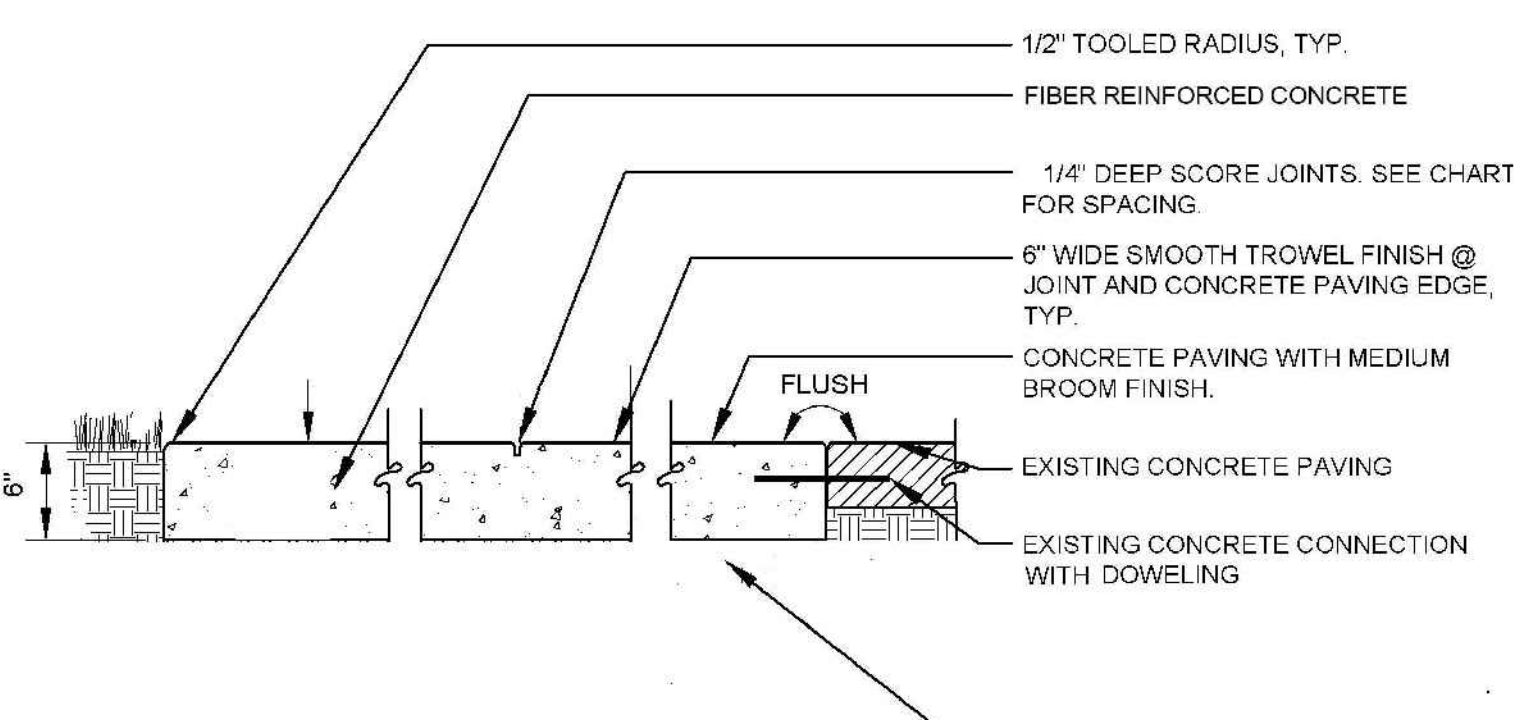
3 TRASH RECEPTACLE
OR APPROVED EQUAL

N.T.S.



4 CONCRETE PAVING AND JOINTING
AS SHOWN OR APPROVED EQUAL

N.T.S.

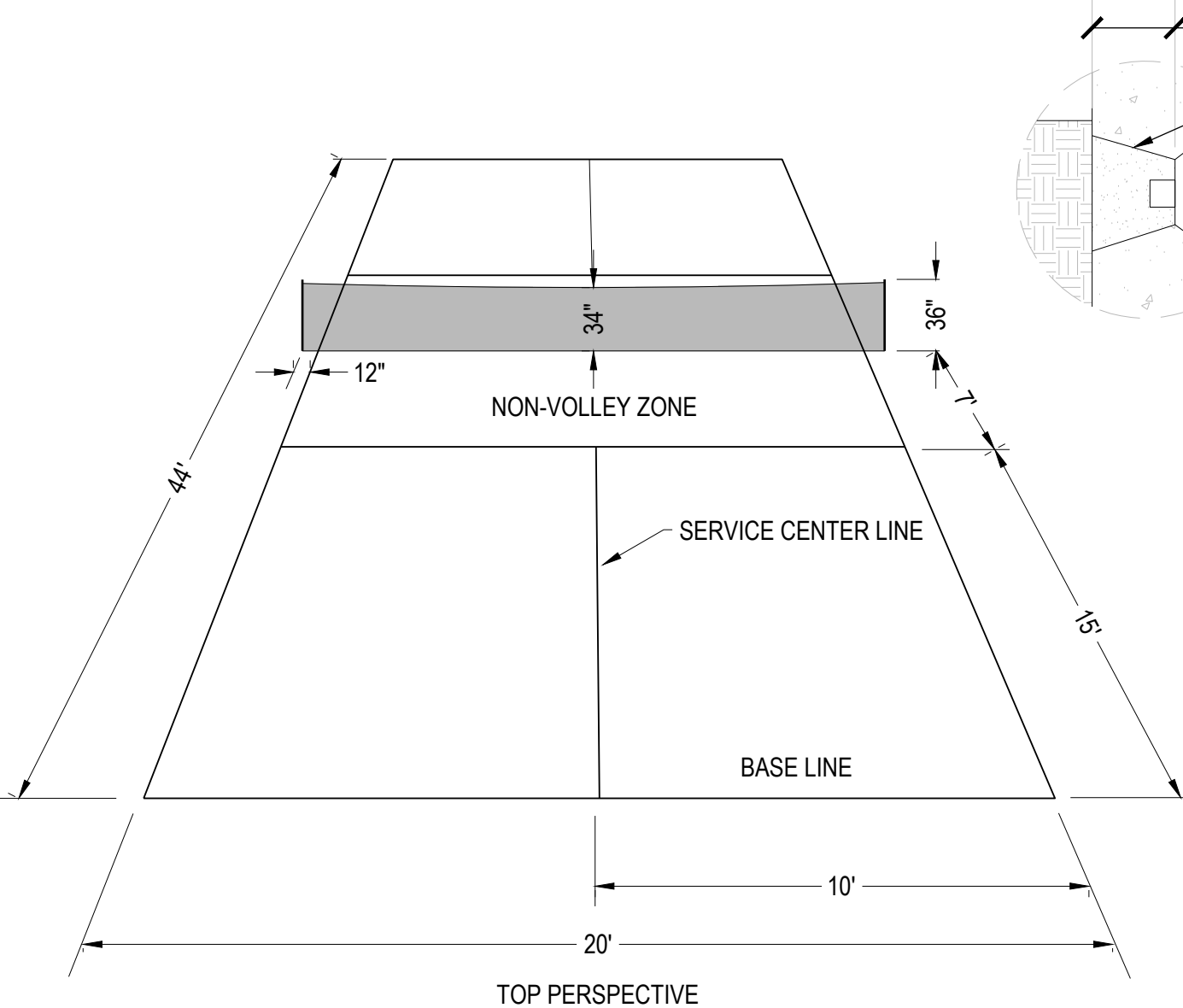
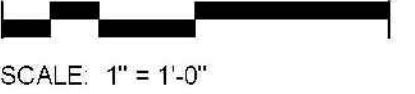


PAVEMENT WIDTH	*JOINT SPACING
10'	10' OC
8'	8' OC
6'	8' OC
5'	10' OC
4'	8' OC

*OR AS DEPICTED ON PLANS

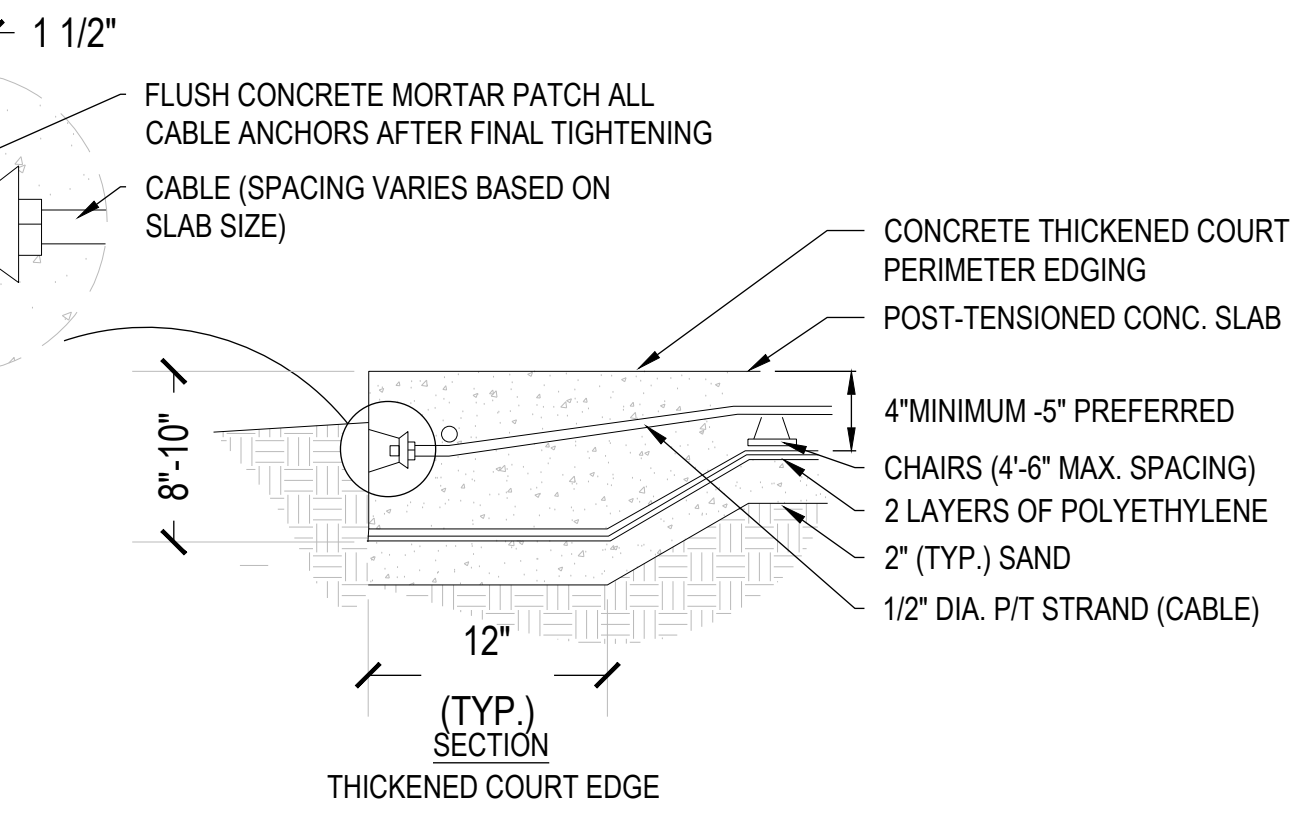
- NOTES:
- MEDIUM BROOM FINISH PERPENDICULAR TO WALK DIRECTION UNLESS OTHERWISE SHOWN ON PLAN.
 - CROSS SLOPE SHALL BE 1.8% WITH A TOLERANCE OF +/-0.2%, AND NOT EXCEEDING 2% OR FALLING UNDER 1.5%, UNLESS OUTSIDE PATH OF TRAVEL.
 - SCORE JOINTS SHALL BE TOOLED 1/4" WIDE AND DEEP.
 - EXPANSION JOINTS MAY OCCUR AT THE JUNCTION BETWEEN FLAT AND VERTICAL CONCRETE SURFACES.

- NOTE:
- CONCRETE PAVING AND CONCRETE PAVING JOINT DETAILS ARE FOR AREAS OUTSIDE DOUGLAS COUNTY RIGHT-OF-WAY.
 - ALL CONCRETE PAVING AND JOINTING SHALL MEET OR EXCEED DOUGLAS COUNTY STANDARDS.
 - PAVING JOINT DETAILS ARE FOR WALKS ONLY, AND DO NOT APPLY TO THE PICKLEBALL COURTS.



5A COURT STRIPING

N.T.S.



5B POST TENSIONED CONCRETE

N.T.S.

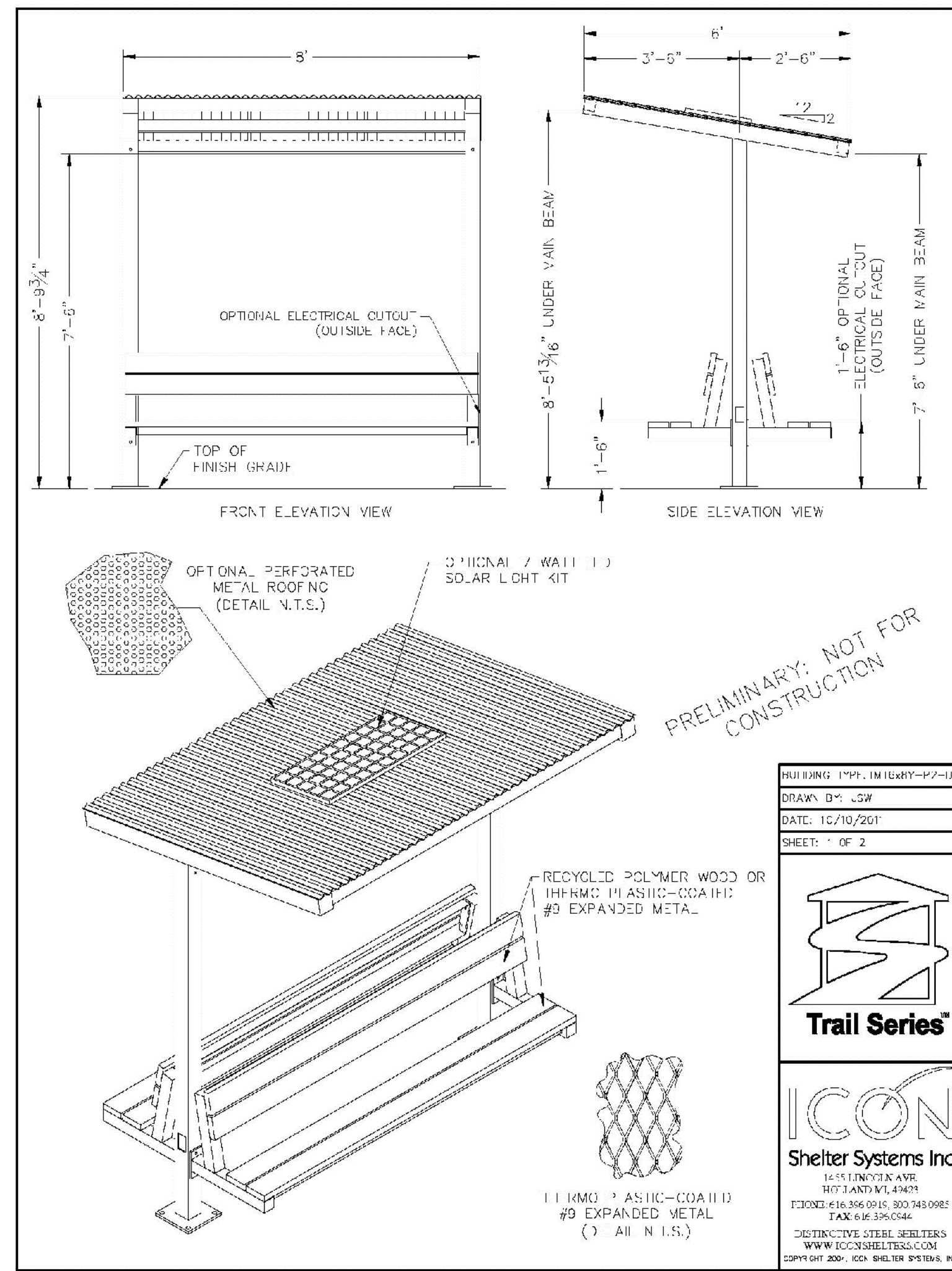
- NOTES:
- PICKLEBALL COURT TO INCLUDE POST TENSIONED CONCRETE, ACRYLIC SURFACING, POSTS AND NET.
 - CONTRACTOR TO PROVIDE SOIL TESTING AND ENGINEERING FOR POST TENSIONED CONCRETE AND INSTALL ALL EQUIPMENT PER MANUFACTURER SPECIFICATIONS.
 - PICKLEBALL POSTS AND NETS TO BE SUPPLIED BY PICKLEBALL, OR APPROVED SIMILAR. CONTACT: STEVEN BLUSTEIN. EMAIL: STEVEN@PICKLEBALL.COM. EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF THE LINES. RECOMMENDED LINE WIDTHS = 2 INCHES
 - RECOMMENDED NET POSTS EXTEND 12 INCHES OUTSIDE SIDELINE.
 - ACRYLIC PICKLEBALL SURFACE COATING TO BE RENNER CLASSIC PICKLEBALL COATING SYSTEM OR APPROVED SIMILAR. PERIMETER COLOR: TBD. NON-VOLLEY ZONE COLOR: TBD. SERVICE AREA COLOR: TBD.

5 PICKLEBALL COURT

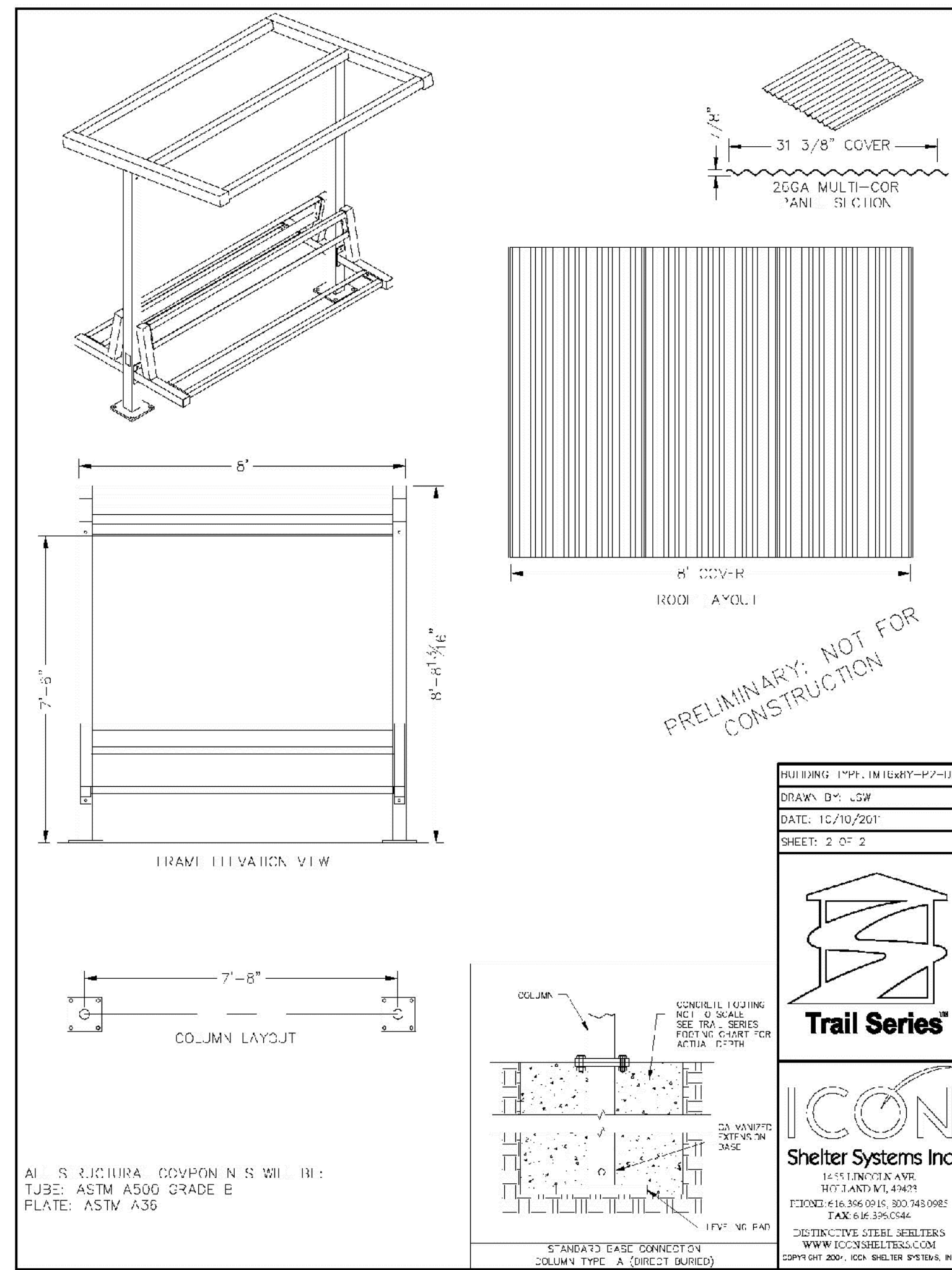
N.T.S.

DATE	NO.	NOTES

PROJECT NO.	DATE	NO.	NOTES
10072024	1/21/2024	1	FIRST SUBMITTAL
		2	SECOND SUBMITTAL



Trail Series
ICON Shelter Systems Inc.
15111 UNIVERSITY AVENUE
DENVER, CO 80242
TEL: 303.351.4900
WWW.ICONSHelters.COM



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- NOTES:
- GABLE SHELTER WITH BENCHES TO BE 'TRAIL SERIES' SHELTER BY ICON SHELTER SYSTEMS, MODEL (TMT6X8Y-P2-DB), AS SUPPLIED BY RECREATION PLUS, LTD. CONTACT: JESSE RODGERS. PHONE: 303-278-1455 / JESSE@RECREATIONPLUS.COM
 - CONTRACTOR TO INSTALL SHELTER PER MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS, ENGINEERED FOOTINGS, AND PERMITS.
 - METAL ROOF COLOR: TBD. POWDER COAT COLOR: TBD. BENCH MATERIALS AND COLOR: TBD.
 - (4) SHELTERS TOTAL.
 - SHELTER TO BE AS SHOWN OR APPROVED EQUAL.

1 BENCH SHELTER
AS SHOWN OR APPROVED EQUAL

N.T.S.



- NOTES:
- 10' PERIMETER GLASS FENCING TO BE 'PICKLE GLASS' BY PICKLETILE. CONTACT: STEVEN BLUSTEIN. EMAIL STEVEN@PICKLETILE.COM
 - CONTRACTOR TO INSTALL FENCING PER MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS, ENGINEERED FOOTINGS, AND PERMITS.
 - METAL POST COLOR: BLACK
 - 10' PERIMETER FENCE TO BE AS SHOWN OR APPROVED SIMILAR.

2 10' PERIMETER GLASS FENCING
AS SHOWN OR APPROVED EQUAL

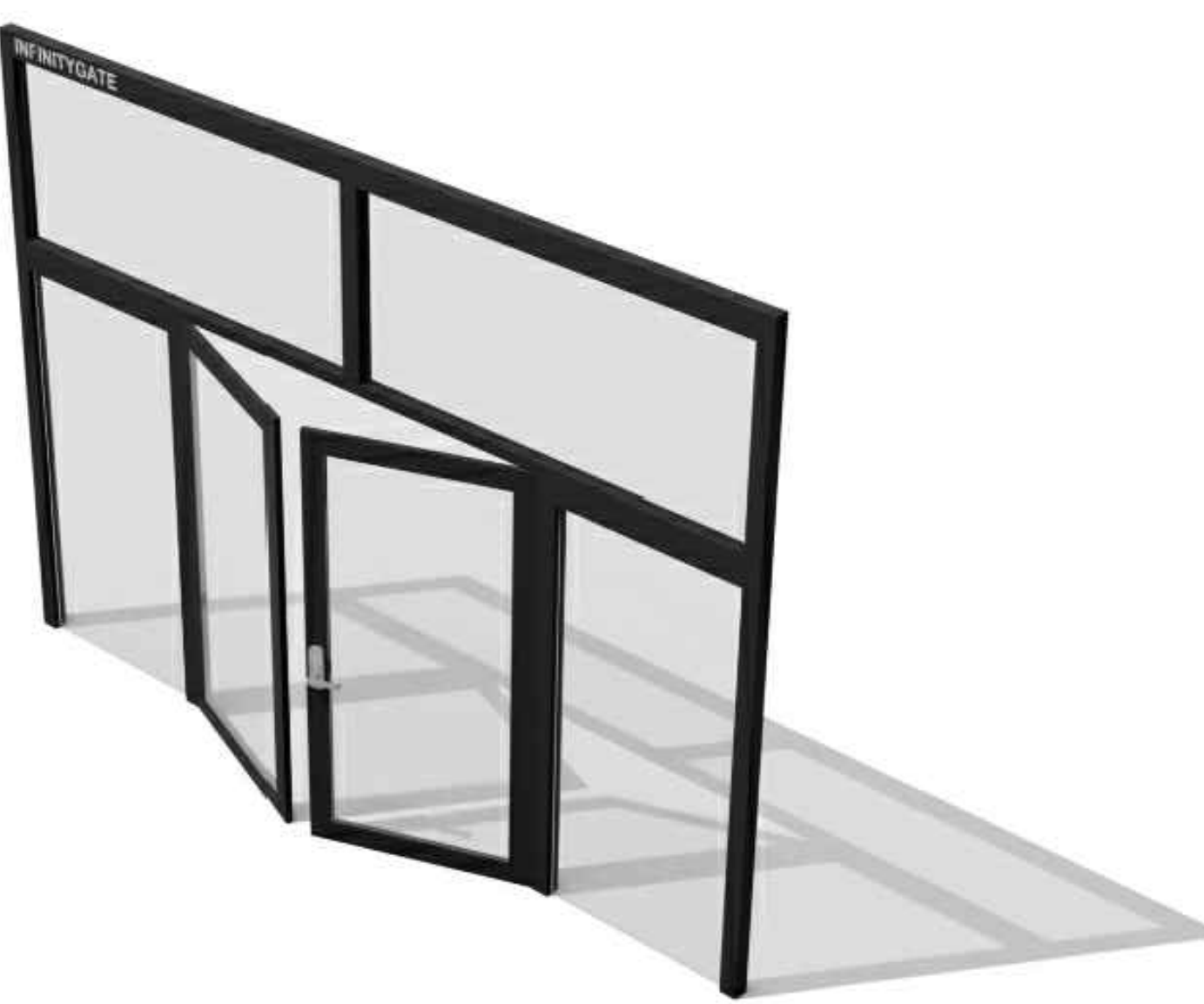
N.T.S.



- NOTES:
- 4' GLASS COURT BARRIER FENCING TO BE 'INFINITYGLASS' GLASS PANEL COURT DIVIDER BY PICKLETILE. CONTACT: STEVEN BLUSTEIN. EMAIL STEVEN@PICKLETILE.COM
 - CONTRACTOR TO INSTALL FENCING PER MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS, ENGINEERED FOOTINGS (IF REQUIRED), AND PERMITS.
 - METAL POST COLOR: BLACK
 - 4' GLASS COURT BARRIER FENCING TO BE AS SHOWN OR APPROVED SIMILAR.

3 4' GLASS COURT BARRIER FENCING
AS SHOWN OR APPROVED EQUAL

N.T.S.



- NOTES:
- SMARTLOCK GLASS DOOR TO BE 'INFINITYGATE SMARTLOCK GLASS DOOR' BY PICKLETILE. CONTACT: STEVEN BLUSTEIN. EMAIL STEVEN@PICKLETILE.COM
 - CONTRACTOR TO INSTALL DOOR PER MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE REQUIRED ENGINEERED DRAWINGS / CALCULATIONS, ENGINEERED FOOTINGS, AND PERMITS.
 - METAL FRAME COLOR: BLACK
 - SMARTLOCK GLASS DOOR TO BE AS SHOWN OR APPROVED SIMILAR.

4 SMARTLOCK GLASS DOOR
AS SHOWN OR APPROVED EQUAL

N.T.S.

PROJECT NO.	DATE	NO.	NOTES
11072024	12/17/2024	1	FIRST SUBMITTAL
		2	SECOND SUBMITTAL