

Location and Extent Staff Report

Date: December 23, 2025

To: Douglas County Planning Commission

From: Eric Pavlinek, Principal Planner *EP*
Jeanette Bare, AICP, Planning Manager *JB*
Steven E. Koster, AICP, Assistant Director of Planning Services *SK*

Subject: **Hier Exemption, 1st Amendment, Parcel A2 – Lift Station and Force Main – Location and Extent**

Project File: LE2025-026

Planning Commission Hearing:

January 5, 2026 @ 6:00 p.m.

I. EXECUTIVE SUMMARY

The Town of Castle Rock is requesting approval of a Location and Extent (L & E) application to construct a new sewer lift station and force main near downtown Sedalia. The lift station will be located southwest of the intersection of North US Highway 85 and State Highway 67 on a 15.95-acre parcel, south of downtown Sedalia. The 12-inch force main will connect to the lift station and will traverse south for approximately 5 to 6 miles, south of US Highway 85. The facilities will serve the existing Sedalia community and future development in this part of the Highway 85 corridor.

The proposed lift station is within the Sedalia Rural Community as identified in Section 4 of the 2040 Douglas County Comprehensive Master Plan (CMP).

II. APPLICATION INFORMATION

A. Applicant

Town of Castle Rock
100 N Wilcox Street
Castle Rock, Colorado 80104

B. Applicant's Representative

Erin Evans
Town of Castle Rock
175 Kellogg Court
Castle Rock, Colorado 80109

C. Request

The applicant, Town of Castle Rock, requests approval of an L & E application for the construction of a sanitary sewer lift station and installation of a sewer line to enable

Sedalia's transition from individual septic systems to a centralized sewer collection and treatment system.

D. Location

The lift station is proposed on Parcel A2 of the Hier Exemption, 1st Amendment, which is located in Sedalia, southwest of the intersection of North US Highway 85 and State Highway 67. The force main generally extends south from the lift station and will discharge at the Plum Creek Water Reclamation Authority in Castle Rock. Vicinity, zoning, and aerial maps are included as an attachment to the staff report to highlight site location and existing conditions.

E. Project Description

The applicant is requesting approval of an L & E for the construction of a new sanitary sewer lift station and sewer line. The proposal includes approximately 5 to 6 miles of new 12-inch force main. The buried pipeline will be installed within rights-of-way and on private property and will connect to the lift station as depicted on the applicant's L & E exhibit. All necessary approvals shall be finalized prior to project commencement, and all disturbed land will be restored preconstruction conditions. Easements have been identified and will be finalized prior to commencement of construction.

The new sanitary lift station will be located on a 15.95-acre parcel owned by Ice Tong Land & Cattle Company LLC. The approximate 109,560-square foot lift station site will be secured by a 6-foot-tall chain link fence with fabric mesh. On-site structures include a 16-foot high odor control biotrickling filter structure, a below grade vault, a generator pad, a transformer pad, a 21-foot tall SCADA tower, and a 16-foot high lift station building. The applicant indicates that the lift station building will have an architectural façade with earth tones and materials consistent with the surrounding area. Four wall-mounted light fixtures are proposed on the lift station building. Other lighting for the facility may be required for safety and security purposes. All proposed lighting shall conform to the County's Lighting Standards.

The site is located within the Sedalia Rural Community as identified in Section 4 of the CMP. Goal 4-3C, support water and sewer improvements in the Sedalia Rural Community. Construction is planned to begin in the Spring of 2026, with completion by Spring of 2027.

III. CONTEXT

A. Background

The applicant has been working with Sedalia Water and Sanitation District and other stakeholders in the design process of this project. The applicant indicates that the improvements are necessary to provide a centralized collection system to be made available to residents and businesses in Sedalia. Having central sewer services along the Highway 85 corridor has been a long-term goal for the County.

B. Adjacent Land Uses and Zoning

The proposed lift station is bounded to the north by downtown Sedalia. The site is adjacent to other properties zoned Sedalia Community District, Sedalia Downtown District, Agricultural One, and Rural Residential. The following table reflects those zone districts and land uses surrounding the lift station.

Zoning and Land Use

Direction	Zoning	Land Use
North	Sedalia Community District	Residential, Commercial
South	Agricultural One	Residential
East	Sedalia Downtown District	Residential
West	Rural Residential	Residential, Ranching

IV. PHYSICAL SITE CHARACTERISTICS

A. Site Characteristics and Constraints

No existing physical conditions are present that constrain construction of the proposed improvements.

B. Access

Access to the lift station is proposed via a 15-foot-wide gravel access drive from Douglas Avenue.

C. Drainage and Erosion

The applicant is responsible for preparation of site-specific engineering plans, which include a GESC Plan and Report and Phase III Drainage Report.

D. Floodplain

The lift station improvements are not located within the floodplain. Approximately 2,670 linear feet of force main will be installed within the floodplain, however a Floodplain Development Permit will be required for the portions of force main located within the floodplain.

V. PROVISION OF SERVICES

A. Fire Protection

West Douglas County Fire Protection District (WMFPD) provides firefighting and emergency medical services to the project area. WMFPD reviewed the request and had no concerns about the project.

B. Sheriff Services

The Douglas County Sheriff's Office (DCSO) provides emergency services to the site. At the writing of the staff report, no response had been received from the DCSO or the Office of Emergency Management.

C. Water and Sanitation

No additional water and sewer demands are generated by the proposed project.

D. Utilities

Area utility service providers were provided a referral on this application. AT&T noted no conflicts with AT&T infrastructure. Xcel Energy noted no concerns with the project. The comments were provided to the applicant. No other utility provider issued comments at the writing of the staff report.

E. Other Required Processes and Permits

In addition to the L & E approval, the following permits and other approvals may be required prior to commencement of construction:

- Public Works Engineering:
 - GESC Plans and Report
 - Civil Construction Plans
 - Secondary Drainage Easement
 - Drainage Report
 - Operation & Maintenance Manual for the detention/water quality pond
 - Floodplain Development Permit
- Building and electrical permits
- CDPHE approval

VI. PUBLIC NOTICE AND INPUT

Courtesy notices of an application in process were sent to adjacent property owners. At the preparation of the staff report, no adjacent property owners or members of the public commented on the proposal. Referral response requests were sent to referral agencies on December 15, 2025. Referral responses are due at the conclusion of the referral period on December 29, 2025, or prior to the Planning Commission Hearing.

Referral agency responses received to date are attached to the staff report for reference. Responses received through the end of the referral period will be provided to the Planning Commission prior to the hearing and added to the project record.

VII. STAFF ASSESSMENT

Staff evaluated the application in accordance with Section 32 of the Douglas County Zoning Resolution. The applicant has indicated that the proposed improvements are necessary to enable Sedalia's transition from individual septic systems to a centralized collection and treatment system. The applicant also indicates that the project will eliminate long-term groundwater contamination risks, supports economic growth, and enhances public health for a rural area reliant on aging septic infrastructure.

Should the Planning Commission approve the L & E request, the applicant will be required to receive approval of all necessary permits prior to commencement of the project. Proof that necessary easements, permits, and approvals from other entities and property owners have been obtained is also needed prior to construction of commencement.

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LAND USE APPLICATION

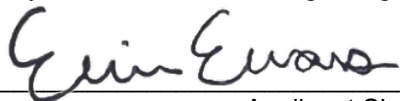
Please complete, sign, and date this application. Return it with the required items listed on the Submittal Checklist to planningsubmittals@douglas.co.us. Submittals may also be mailed or submitted in person to Planning Services. *NOTE: The Planning Commission or the Board of County Commissioners should not be contacted regarding an open application.*

OFFICE USE ONLY**PROJECT TITLE:** **Hier Exemption, 1st Amendment, Parcel A2****PROJECT NUMBER:** **LE2025-026****PROJECT TYPE:** Location and Extent (L&E)**MARKETING NAME:** Sewer Lift Station Project**PRESUBMITTAL REVIEW PROJECT NUMBER:** PS2025-082**PROJECT SITE:**Address: 4210 DOUGLAS AVE, SEDALIA, 80135State Parcel Number(s): 2353-144-00-032Subdivision/Block#/Lot# (if platted): PARCEL A2 HIER EXEMPTION 1ST AMD 15.93 AM/L**PROPERTY OWNER(S):**Name(s): Ice Tong Land & Cattle Company LLCAddress: 4210 DOUGLAS AVE , SEDALIA CO 80135Phone: 303-885-0600Email: polson@icetong.net

AUTHORIZED REPRESENTATIVE: (Notarized Letter of Authorization is required from the property owner, unless the owner is acting as the representative)

Name: Erin EvansAddress: 175 Kellogg Ct. Castle Rock, CO 80109Phone: 303-653-0449Email: eevans@crgov.com

To the best of my knowledge, the information contained on this application is true and correct. I have received the County's information sheet regarding the *Preble's Meadow Jumping Mouse*.



Applicant Signature

8/29/25

Date

NOTE: This application is for a Castle Rock Water public improvements project. Land rights will be acquired from all landowners through a statutory acquisition process.

100 Third Street, Castle Rock, Colorado 80104 • 303.660.7460

Castle Rock Sedalia Lift Station & Force Main PDB

Douglas County Location & Extent Report



Prepared by:



188 Inverness Drive W.
Ste. 500
Englewood, CO 80112

November 2025

Garver Project No. 2401588



Engineer's Certification

I hereby certify that this Location and Extent Report for the Castle Rock Sedalia Lift Station & Force Main PDB was prepared by Garver under my direct supervision for SJ Louis Construction and the Town of Castle Rock.

Wesley Lozano, PE
State of Colorado PE License 65534

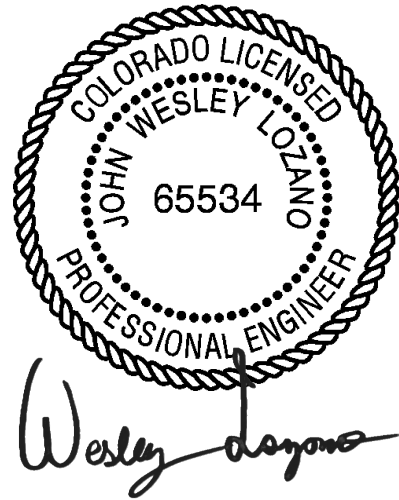




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1.0 Community Impact Assessment

1.1 Summary

The Town of Castle Rock, in partnership with the Town of Sedalia, is constructing a 1.2 MGD (expandable to 2.2 MGD) sanitary sewer lift station and approximately 5–6 miles of force main to enable Sedalia’s transition from individual septic systems to a centralized collection and treatment system. The project eliminates long-term groundwater contamination risks, supports economic growth, and enhances public health in a rural community currently reliant on aging septic infrastructure.

Construction is scheduled for Spring 2026 through Spring 2027 with a total budget of \$18.8 million (ARPA and Town of Castle Rock funds).

Key Findings:

- Minimal long-term community impact due to robust on-site odor control, architectural screening, and resilient design.
- Short-term construction impacts limited by trenchless crossings at Colorado Highway 67 (Manhart Ave), BNSF railroad, and East Plum Creek (HDD).
- Positive economic and environmental benefits include new development capacity and elimination of septic-related pollution.
- Stakeholder engagement has been proactive via biweekly design meetings, design workshops, and landowner coordination.

All mitigation measures comply with Douglas County Land Use Code, CDPHE Design Criteria, and CDOT standards.

1.2 Project Description

Component	Details
Lift Station Location	Private parcel southwest of Clay St & Douglas Ave, Sedalia, CO (~200 ft south of single-family homes; ~300 ft east of Sedalia Elementary School)
Capacity	Phase 1: 1.2 MGD; Phase 2 (future): 2.2 MGD
Force Main	~5–6 miles, 12–16 in. diameter, parallels existing DWSD water pipeline easement and CORE electric easement; discharges to Plum Creek Water Reclamation Authority in Castle Rock.
Key Crossings	<ul style="list-style-type: none">• Colorado Highway 67 (Manhart Ave) – Auger bore• BNSF Railroad – Auger bore• East Plum Creek – Horizontal Directional Drill (HDD)
Installation Method	Open-cut (majority); trenchless at sensitive crossings
Ancillary Features	Biotrickling filter odor control, 0.3 MG emergency overflow basin (>12 hr storage at buildout), backup generator, SCADA monitoring, stormwater retention pond
Aesthetics	Wet pit/dry pit with enclosed building; rural architectural treatment (stone/textured siding, low-profile roofline), perimeter security fencing with native landscaping buffer





Component	Details
Timeline & Cost	Construction: Spring 2026 – Spring 2027; \$18.8M (Funded through ARPA + Castle Rock Water)

1.3 Community Profile & Baseline Conditions

Attribute	Description
Population	Sedalia: ~258 residents; low-density rural residential
Land Use (1-mile radius)	Mix of Sedalia community/residential, agricultural/ranch, commercial (Sedalia Downtown), institutional (Sedalia Elementary), and mixed industrial. (Figure 1-1)
Sensitive Receptors	<ul style="list-style-type: none"> • Sedalia Elementary School: ~300 ft west • Single-family homes: ~200 ft north • No designated low-income or minority-concentrated blocks (per EPA EJScreen)
Environmental Setting	<ul style="list-style-type: none"> • Plum Creek corridor • Minor force main segments in 100-yr floodplain/RCZ (Figure 1-2) <ul style="list-style-type: none"> ○ ~400 ft open cut in 100-yr floodplain ○ ~2,270 ft open cut in RCZ • No mapped wetlands at lift station site
Current Issues	Documented septic failures in older Sedalia homes (Tri-County Health, 2018–2022); nitrate concerns in private wells



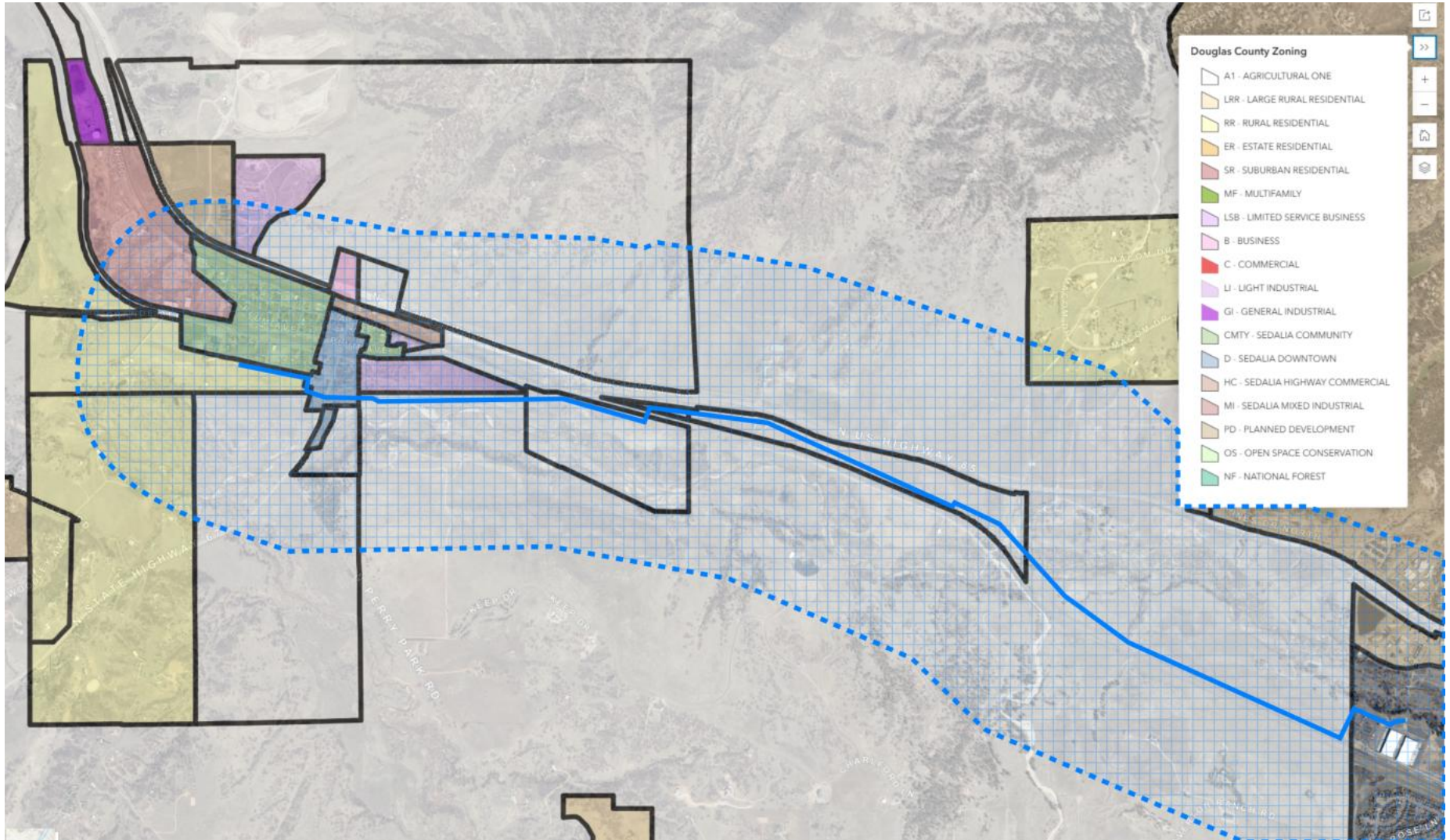


Figure 1-1: 1-Mile Radius Land Use

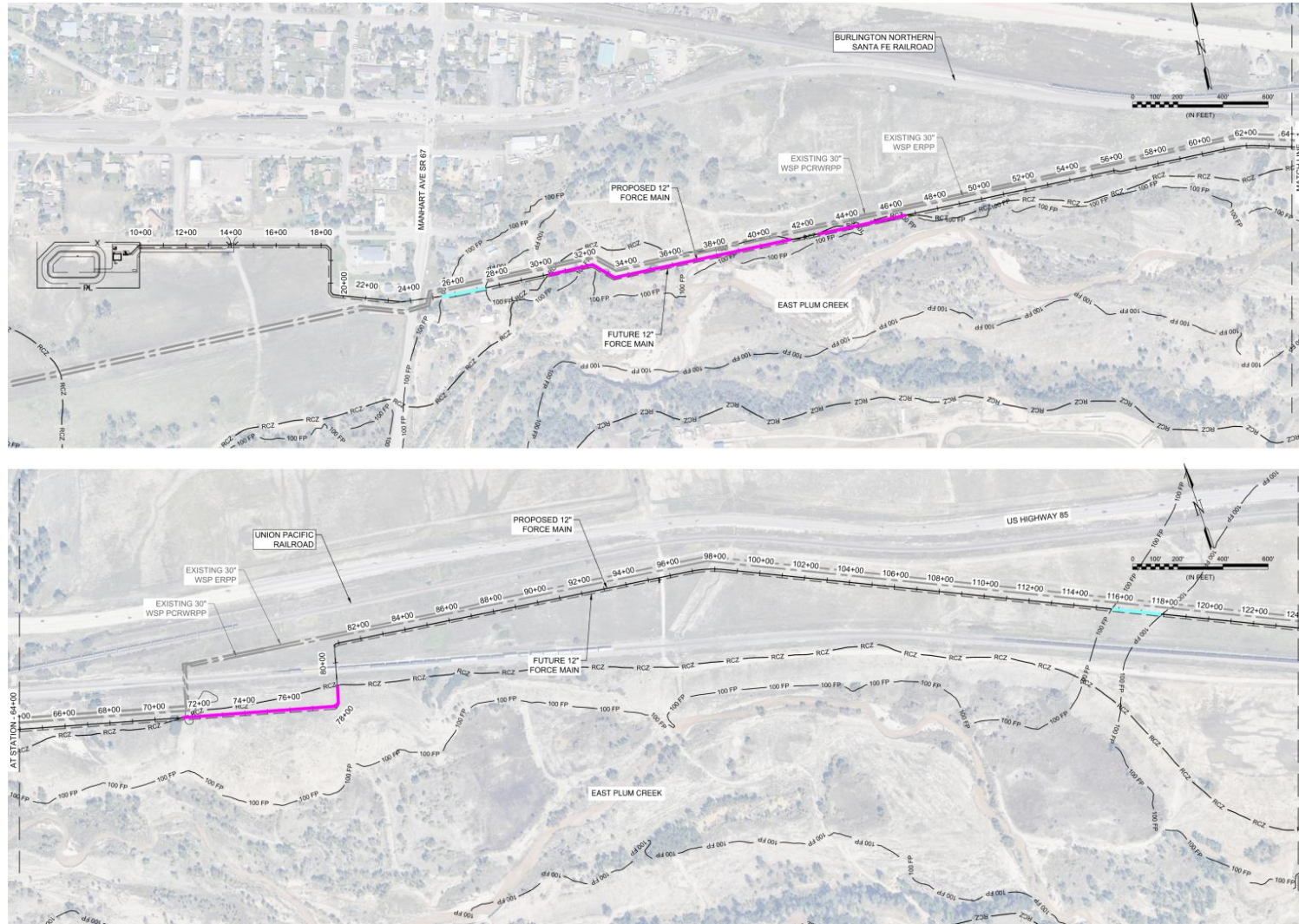


Figure 1-2: Open Cut Installation in 100-yr Floodplain (Cyan) and RCZ (Magenta)

1.4 Potential Impacts & Mitigation Measures

Impact Category	Construction Phase	Operational Phase	Mitigation & Design Features
Traffic & Access	<ul style="list-style-type: none"> Minor lane narrowing on Manhart Ave (CDOT) Local access maintained 	None	<ul style="list-style-type: none"> CDOT-approved Traffic Control Plan Flaggers, signage, advance notice of construction commencement No full closures
Air Quality & Dust	Fugitive dust from trenching and excavation	None	Water trucks
Odor	Negligible	Negligible	<ul style="list-style-type: none"> Sealed wet well, biotrickling filter (99% H₂S removal) SCADA alarms for odor control equipment failures
Visual & Aesthetics	Temporary equipment/storage	Permanent ~16 ft tall building	<ul style="list-style-type: none"> Architectural façade (earth tones, materials consistent with surrounding area) Security fencing
Environmental	<ul style="list-style-type: none"> Limited floodplain entry Plum Creek HDD 	Spill containment	<ul style="list-style-type: none"> HDD under Plum Creek (no in-stream work) Stormwater BMPs in accordance with Douglas County GESC requirements. Stormwater retention pond 0.3 MG sewer overflow basin
Property & Land Use	<ul style="list-style-type: none"> New sewer easements Temporary construction easements Douglas County Regional Trail surface easement 	None	<ul style="list-style-type: none"> Fair market compensation per appraisal Restoration to pre-construction grade/vegetation
Public Health & Safety	Worker and pedestrian risk	Spill risk (low)	<ul style="list-style-type: none"> OSHA-compliant safety plan SCADA alarms to Castle Rock operations 24/7 Redundant pumps + backup power generator Overflow containment basin

1.5 Economic and Social Benefits

The addition of a Lift Station in Sedalia provides the following public health and economic benefits:

- Enables construction of centralized collection system infrastructure to be made available to residents and businesses in Sedalia.
- Moving from septic to sewer eliminates health risks from septic leachate, protecting groundwater, wells, and Plum Creek.
- Supports new commercial and residential development.
- Supports property value with reliable utilities.

1.6 Stakeholder Engagement

Key stakeholders have been engaged throughout the course of this project to pursue an agreeable and compliant design:

- Recurring design meetings have included the following stakeholders:
 - key property owners
 - local businesses
 - local officials (Sedalia Water and Sewer, Town of Sedalia, Douglas County, Plum Creek Water Reclamation Authority, etc.)
 - Sedalia school district
 - CORE Electric
- Landowner Coordination: Direct negotiation with lift station parcel owner and all easement holders; draft agreements in review.
- Agency Coordination: CDPHE site location and design approval in progress, CDOT encroachment permit pending, and BNSF crossing agreement pending.



2.0 Traffic Impacts

This project is expected to have minor impact on public traffic patterns. The crossing of HWY67/Manhart Ave will be completed via trenchless methods so only minor traffic control will be required along shoulders and for utility identification. Construction ingress and egress will be controlled at designated locations. Traffic Control plans will be submitted to CDOT and Douglas County for approval prior to commencement of construction.



Comprehensive Master Plan Land Use Reference Map

Comprehensive Master Plan Areas

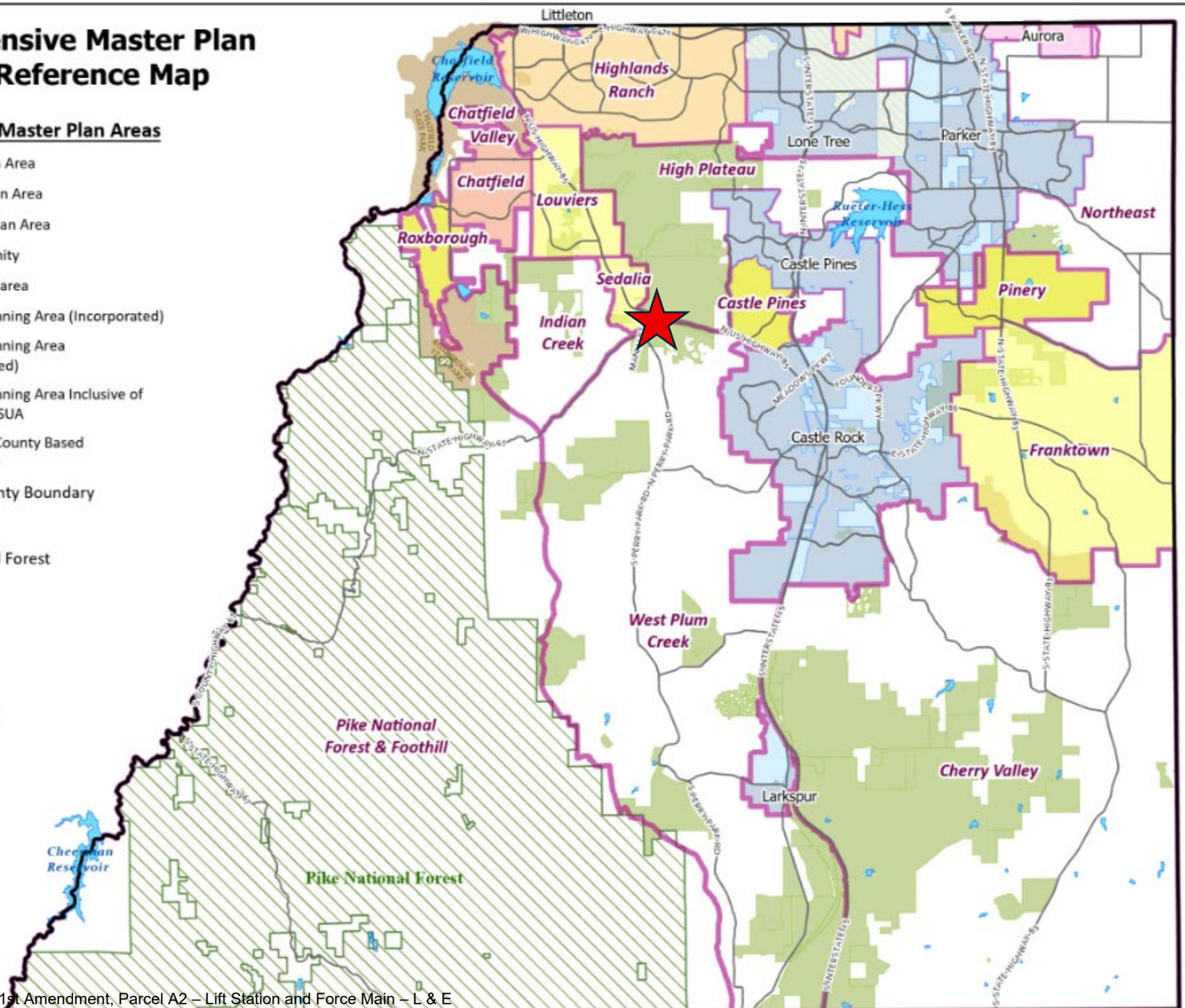
- Primary Urban Area
- Chatfield Urban Area
- Separated Urban Area
- Rural Community
- Nonurban Subarea
- Municipal Planning Area (Incorporated)
- Municipal Planning Area (Unincorporated)
- Municipal Planning Area Inclusive of County PUA / SUA
- Non-Douglas County Based Municipalities
- Douglas County Boundary

Parks

- Pike National Forest
- State Parks
- Open Space
- Lakes

Roadways

- Major Roads

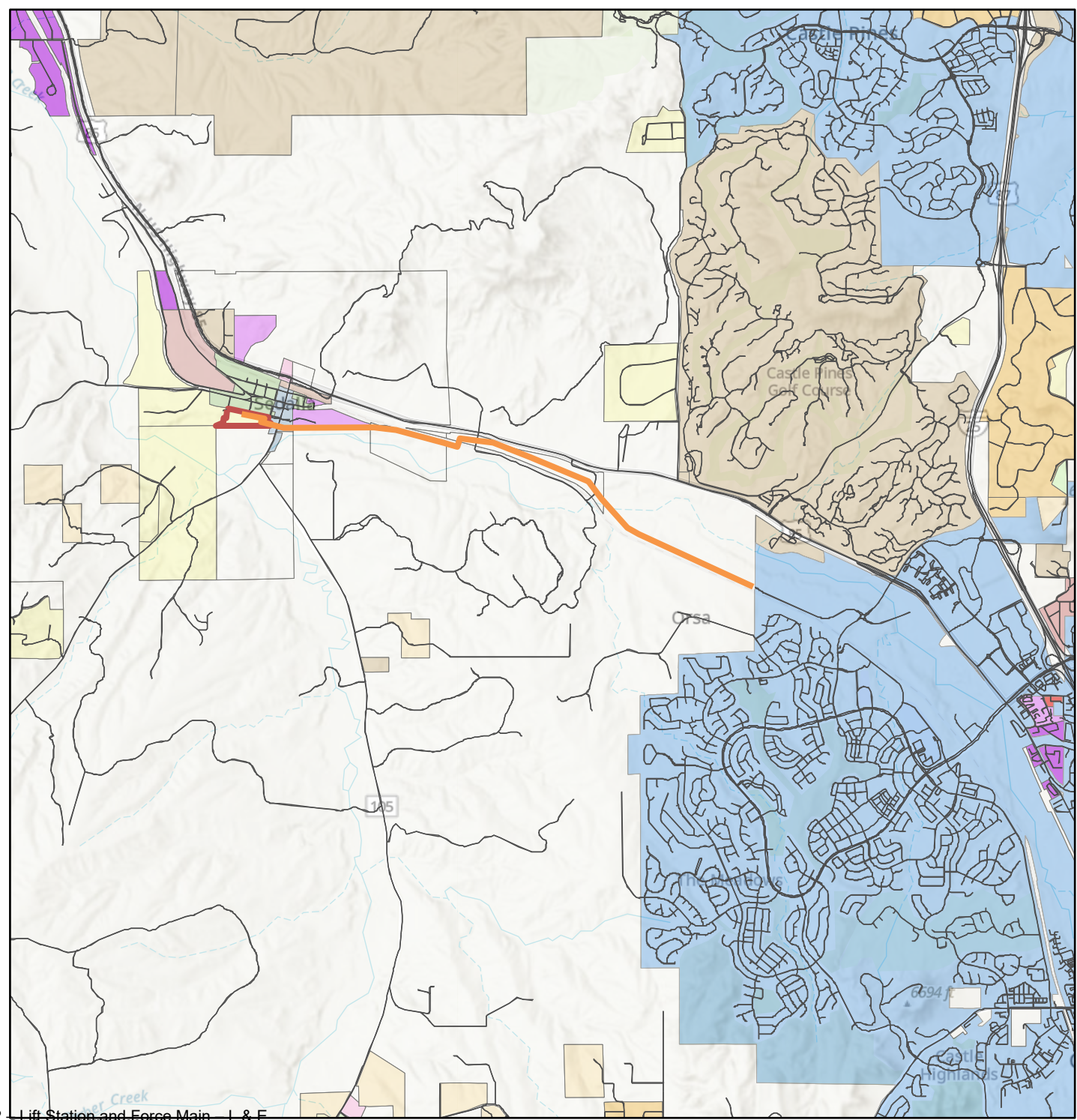


Hier Exemption, 1st Amendment, Parcel A2

LE2025-026
Zoning Map



- LEGEND
- Roads
 - Major Roads
- ZONE DISTRICT
- | | |
|---------------------------------|---------------------------------|
| A1 - AGRICULTURAL ONE | A1 - AGRICULTURAL ONE |
| LRR - LARGE RURAL RESIDENTIAL | LRR - LARGE RURAL RESIDENTIAL |
| RR - RURAL RESIDENTIAL | RR - RURAL RESIDENTIAL |
| ER - ESTATE RESIDENTIAL | ER - ESTATE RESIDENTIAL |
| SR - SUBURBAN RESIDENTIAL | SR - SUBURBAN RESIDENTIAL |
| B - BUSINESS | B - BUSINESS |
| C - COMMERCIAL | C - COMMERCIAL |
| CTY | CTY |
| LI - LIGHT INDUSTRIAL | LI - LIGHT INDUSTRIAL |
| GI - GENERAL INDUSTRIAL | GI - GENERAL INDUSTRIAL |
| CMTY - SEDALIA COMMUNITY | CMTY - SEDALIA COMMUNITY |
| D - SEDALIA DOWNTOWN | D - SEDALIA DOWNTOWN |
| HC - SEDALIA HIGHWAY COMMERCIAL | HC - SEDALIA HIGHWAY COMMERCIAL |
| MI - SEDALIA MIXED INDUSTRIAL | MI - SEDALIA MIXED INDUSTRIAL |
| PD - PLANNED DEVELOPMENT | PD - PLANNED DEVELOPMENT |
| OS - OPEN SPACE CONSERVATION | OS - OPEN SPACE CONSERVATION |
- World_Hillshade



Hier Exemption, 1st Amendment, Parcel A2

LE2025-026
Aerial Map



- LEGEND
- Roads
 - Major Roads
 - ▭ Parcels - PARCELS
 - 1% annual chance of flood (100 year flood).
 - 0.2% annual chance of flood (500 year flood).
 - World_Hillshade
 - Lift Station Site
 - 12-inch Force Main



Initial Referral Agency Response Report**Page 1 of 3****Project Name:** Hier Exemption, 1st Amendment, Parcel A2**Project File #:** LE2025-026**Date Sent:** 12/15/2025**Date Due:** 12/29/2025

Agency	Date Received	Agency Response	Response Resolution
Addressing Analyst	12/16/2025	Verbatim Response: The proposed address is: 4282 DOULGAS AVENUE. This address is not to be used for any purpose other than for plan review until after this project is approved. Proposed addresses are subject to changes as necessary for 911 dispatch and life safety purposes. Addresses are recorded by Douglas County following all necessary approvals. Contact DCAaddressing@douglas.co.us or 303.660.7411 with questions.	Comments provided to applicant.
AT&T Long Distance - ROW	12/17/2025	Summary of Response: AT&T reviewed the request and there should be no conflicts with AT&T Long Lines.	No action required.
Building Services	12/22/2025	Verbatim Response: Permit is required for structure(s). Please visit Douglas County's web site for requirements and contact 303-660-7497 if you have any questions.	Comments provided to applicant.
CDPHE	12/18/2025	Summary of Response: CDPHE Air Pollution Control Division provided comments related to APEN and Regulation No. 3, odor, land development, and VOC and Hazardous Air Pollutants Analysis for small wastewater projects.	Comments provided to applicant.
CenturyLink		No response received as of staff report preparation.	
Chatfield Watershed Authority		No response received as of staff report preparation.	
Colorado Department of Transportation CDOT-Region # 1	12/15/2025	Summary of Response: CDOT has no objection to the request. Any work that will take place in the State Highway will require a permit.	Comments provided to applicant.
Comcast		No response received as of staff report preparation.	
CORE Electric Cooperative		No response received as of staff report preparation.	
Dominion Water and Sanitation District		No response received as of staff report preparation.	

Initial Referral Agency Response Report**Page 2 of 3****Project Name:** Hier Exemption, 1st Amendment, Parcel A2**Project File #:** LE2025-026**Date Sent:** 12/15/2025**Date Due:** 12/29/2025

Agency	Date Received	Agency Response	Response Resolution
Douglas County Health Department		No response received as of staff report preparation.	
Douglas County Conservation District		No response received as of staff report preparation.	
Douglas County Parks and Trails		No response received as of staff report preparation.	
Douglas County School District RE 1		No response received as of staff report preparation.	
Douglas Land Conservancy		No response received as of staff report preparation.	
Elk Ridge Estates HOA		No response received as of staff report preparation.	
Engineering Services	12/19/2025	Summary of Response: Engineering provided comments related to the permits and approval required for the project. Please also show the limits of the 100-yr floodplain on the L & E exhibit.	Comments provided to applicant. All required permits and approvals will be obtained prior to project commencement. The applicant updated the L & E exhibit to show the limits of the floodplain.
Hockaday Heights HOA		No response received as of staff report preparation.	
Indian Creek Ranch Improvement Association		No response received as of staff report preparation.	
Mile High Flood District		No response received as of staff report preparation.	
Office of Emergency Management	12/18/2025	Verbatim Response: No comment.	No action required.
Open Space and Natural Resources		No response received as of staff report preparation.	
Plum Creek Water Reclamation Authority		No response received as of staff report preparation.	
Ranch at Coyote Ridge HOA		No response received as of staff report preparation.	
Sedalia Property Owners Coalition		No response received as of staff report preparation.	
Sedalia Water & Sanitation District	12/15/2025	Verbatim Response: SWSD is aware of this project and working with applicant on water use/location of water taps. Inclusion into the SWSD and associated fees will be required. Applicant shall facilitate meetings with SWSD to begin that process.	Comments provided to applicant.
Sheriff's Office		No response received as of staff report preparation.	

Initial Referral Agency Response Report**Page 3 of 3****Project Name:** Hier Exemption, 1st Amendment, Parcel A2**Project File #:** LE2025-026**Date Sent:** 12/15/2025**Date Due:** 12/29/2025

Agency	Date Received	Agency Response	Response Resolution
Sheriff's Office E911		No response received as of staff report preparation.	
Town of Castle Rock		No response received as of staff report preparation.	
West Douglas County FD	12/15/2025	Verbatim Response: We have carefully reviewed this proposal and have no concerns.	No action required.
Wildfire Mitigation		No response received as of staff report preparation.	
Xcel Energy-Right of Way & Permits	12/16/2025	Summary of Response: Xcel Energy does not have conflicts with the request.	Comments provided to applicant.

Eric Pavlinek

From: annb cwc64.com <annb@cwc64.com>
Sent: Wednesday, December 17, 2025 1:06 PM
To: Eric Pavlinek
Cc: VOHS, LENNY (lv2121@att.com); LANA SCARLETT-ROWELL (ls1762@att.com); duanew cwc64.com; jt cwc64.com
Subject: Douglas Ave Sedalia, Colorado Douglas County eReferral #LE2025-026
Attachments: Douglas Ave Sedalia, Colorado.jpg

Caution: This email originated outside the organization. Be cautious with links and attachments.

Hi Eric,

This is in response to your eReferral with a utility map showing any buried AT&T Long Line Fiber Optics near Douglas Ave Sedalia, Colorado. The Earth map shows the project area in red and the buried AT&T Long Line/Core Fiber Optics in yellow. Based on the address and/or map you provided, there should be NO conflicts with the AT&T Long Line facilities.

Please feel free to contact us with any questions or concerns.

Ann Barnowski
Clearwater Consulting Group Inc
120 9th Avenue South
Suite 140
Nampa, ID 83651
Annb@cwc64.com

The attached google earth maps are intended to show approximate locations of the buried AT&T long line fiber optic cable. The maps are provided for informational purposes only. In no way should the maps be used for anything other than general guidelines as to where the fiber is or is not and any other use of these maps is strictly prohibited.

-----Original Message-----

From: epavlinek@douglas.co.us <epavlinek@douglas.co.us>
Sent: Monday, December 15, 2025 7:34 AM
To: annb cwc64.com <annb@cwc64.com>
Subject: Douglas County eReferral (LE2025-026) Is Ready For Review

There is an eReferral for your review. Please use the following link to log on to your account:
<https://apps.douglas.co.us/planning/projects/Login.aspx>

Project Number: LE2025-026

Project Title: Hier Exemption, 1st Amendment, Parcel A2 - Location and Extent

Project Summary: The applicant, Town of Castle Rock, requests approval of a Location and Extent (L & E) to construct a sewer lift station on property within Sedalia and construction of approximately 5 to 6 miles of force main to enable Sedalia's transition from individual septic systems to a centralized collection and treatment system.

This referral will close on Monday, December 29, 2025.

If you have any questions, please contact me.

Sincerely,

Eric Pavlinek

Planning Services
100 Third Street
Castle Rock, CO 80104
303-660-7460 (main)





COLORADO

Department of Public
Health & Environment

Dedicated to protecting and improving the health and environment of the people of Colorado

Eric Pavlinek
Douglas County Planning Services
100 Third Street Castle Rock, CO 80104

VIA EMAIL

RE: Douglas County eReferral (LE2025-026) Is Ready For Review

Dear Eric Pavlinek,

The Colorado Department of Public Health and Environment's Air Pollution Control Division (APCD or Division) received a request for an air quality administrative review concerning the proposed Sedalia lift station project as described in your correspondence dated December 15, 2025. The Division has reviewed the project letter and respectfully offers the following comments. Please note that the following Air Quality Control Commission (AQCC) regulations may not be inclusive of the regulations the proposed project will be subject to. It is the responsibility of the involved parties to determine what regulations they are subject to and follow them accordingly.

APEN and Regulation No. 3

We note that projects similar to this proposal have included the use of engines and/or generators. In Colorado, most businesses that are or will be emitting air pollutants above certain levels are required to report those emissions to the Division by completing an Air Pollutant Emissions Notice (APEN). This is a two in one form for reporting air emissions and to obtain an air permit, if a permit will be required. While only businesses that exceed the AQCC reporting thresholds are required to report their emissions, all businesses - regardless of emission amount - must always comply with the Colorado AQCC regulations, found here <https://cdphe.colorado.gov/aqcc-regulations>. APEN and permit reporting thresholds are provided at

<https://cdphe.colorado.gov/apens-and-air-permits/apen-and-permit-threshold-table>.

A permit may not be required if it meets the following criteria:¹

- Is a stationary internal combustion engine that is an emergency power generator that operates no more than 250 hrs/year; or
- Is a stationary internal combustion engine with uncontrolled actual emissions less than 5 tons per year for each individual criteria pollutant emitted; or
- Is a stationary internal combustion engine with manufacturer's site-rated horsepower of less than 50

For additional information on exemptions and permitting requirements, please visit <https://cdphe.colorado.gov/apens-and-air-permits/common-apen-or-air-permit-exemptions>.

¹ APEN or Permit Exemptions, CDPHE,

<https://cdphe.colorado.gov/apens-and-air-permits/common-apen-or-air-permit-exemptions>



VOC and Hazardous Air Pollutants (HAPS) Analysis for Small Wastewater Projects

An Air Pollutant Emissions Notice (APEN) for VOC and HAPS may be required depending on the existing and new throughput of your facility. Municipal wastewater projects may use the following chart to estimate VOC and HAPS emissions in order to determine if they are required to submit an APEN under Regulation Number 3.

Pollutant	Emission Factor Lb/MM gallon	Reporting Threshold
VOC	3.49414	1 ton/year OR 2 ton/year
Hexamine	0.41207	250 lbs/year
Perchloroethylene	0.00890	
Benzene	0.22873	
Toluene	0.00267	
Total Xylene	0.00267	
Ammonia	19.0000	

Odor

All businesses in Colorado are subject to AQCC Regulation Number 2 (Odor Emission) and a permit may be required for the installation of odor control equipment. Please refer to AQCC Number 2 for guidance on odor suppression actions. You may also view the complete regulatory language at <https://cdphe.colorado.gov/aqcc-regulations>.

Land Development

We also note that projects similar to this proposal often involve land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulated by the Division. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to the Division. It is important to note that even if a permit is not required, fugitive dust control measures including the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes

Please refer to the website <https://cdphe.colorado.gov/apens-and-air-permits> for information on land use APENs and permit forms. Click on “Land Development” to access the



land development specific APEN form. Please contact KC Houlden, Construction Permits Unit Supervisor, at 303-691-4092, kenneth.houlden@state.co.us if you have any specific questions about APENs and permit forms.

If you have any other questions or need additional information, please use the contact info listed above, or e-mail or call me directly. Thank you for contacting the Air Pollution Control Division about your project.

Sincerely,
Brendan Cicone
Air Quality and Transportation Planner
General SIP Unit
Air Pollution Control Division
Colorado Department of Public Health and Environment
303-691-4104 // brendan.cicone@state.co.us



From: Loeffler - CDOT, Steven
To: Eric Pavlinek
Subject: Re: Douglas County eReferral (LE2025-026) Is Ready For Review
Date: Monday, December 15, 2025 3:05:18 PM

Caution: This email originated outside the organization. Be cautious with links and attachments.

Eric,

I have reviewed the referral for the Hier Exemption, 1st Amendment, Parcel A2 - Location and extent to construct a sewer lift station on property within Sedalia and construction of approximately 5 to 6 miles of force main to enable Sedalia's transition from septic systems to a centralized collection and treatment system and have no objections. If any work will take place in the State Highway a permit will be required. <https://sogov.my.site.com/portal/s/login?cc=302&startURL=%2Fportal%2Fs%2F>

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9053
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org



On Mon, Dec 15, 2025 at 7:35 AM <epavlinek@douglas.co.us> wrote:

There is an eReferral for your review. Please use the following link to log on to your account:

[https://urldefense.com/v3/__https://apps.douglas.co.us/planning/projects/Login.aspx__;!!PUG2raq7KiCZwBk!eml7fnsYkw!EQ2z7K5NnsJYjCaG0hDzckCY2dLqshP5ntb_JP8aUq1H0EI3jCsDjrsjZUcTHM5_VWpOFn43bwdRL75XFaw\\$](https://urldefense.com/v3/__https://apps.douglas.co.us/planning/projects/Login.aspx__;!!PUG2raq7KiCZwBk!eml7fnsYkw!EQ2z7K5NnsJYjCaG0hDzckCY2dLqshP5ntb_JP8aUq1H0EI3jCsDjrsjZUcTHM5_VWpOFn43bwdRL75XFaw$)

Project Number: LE2025-026

Project Title: Hier Exemption, 1st Amendment, Parcel A2 – Location and Extent

Project Summary: The applicant, Town of Castle Rock, requests approval of a Location and Extent (L & E) to construct a sewer lift station on property within Sedalia and construction of approximately 5 to 6 miles of force main to enable Sedalia's transition from individual septic systems to a centralized collection and treatment system.

This referral will close on Monday, December 29, 2025.

If you have any questions, please contact me.

Sincerely,

Eric Pavlinek

Planning Services
100 Third Street
Castle Rock, CO 80104
303-660-7460 (main)

December 19, 2025

Erin Evans
Authorized Representative
Town of Castle Rock
175 Kellogg Court
Castle Rock, CO 80109

DV 2025-607

Subject: Hier Exemption – 1st Amendment - Parcel A2 - Location & Extent

Dear Erin,

Plan Review Summary:

Submitted to Engineering - 12/15/25
Comments Sent Out - 12/18/25

Engineering has reviewed this project and has the following concerns and comments:

Location & Extent Comments

Comment #1-Please show the limits of the 100-yr. floodplain on the location and extent exhibit.

Comment #2-Construction Access Permits may be required from the different entities.

Comment #3-The following items will need to be submitted for review and approval prior to permits being issued for the project:

- Construction Plans
- Drainage Report
- GESC Plans & Report
- Operation & Maintenance Manual for the proposed detention/water quality pond
- Secondary Drainage Easement will be required

If you have any questions, please give me a call.

Sincerely,



Chuck Smith
Development Review Engineer

cc: Erik Pavlinek, Project Planner

DV25607



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.285.6612
violeta.ciocanu@xcelenergy.com

December 16, 2025

Douglas County Planning Services
100 Third Street
Castle Rock, CO 80104

Attn: Eric Pavlinek

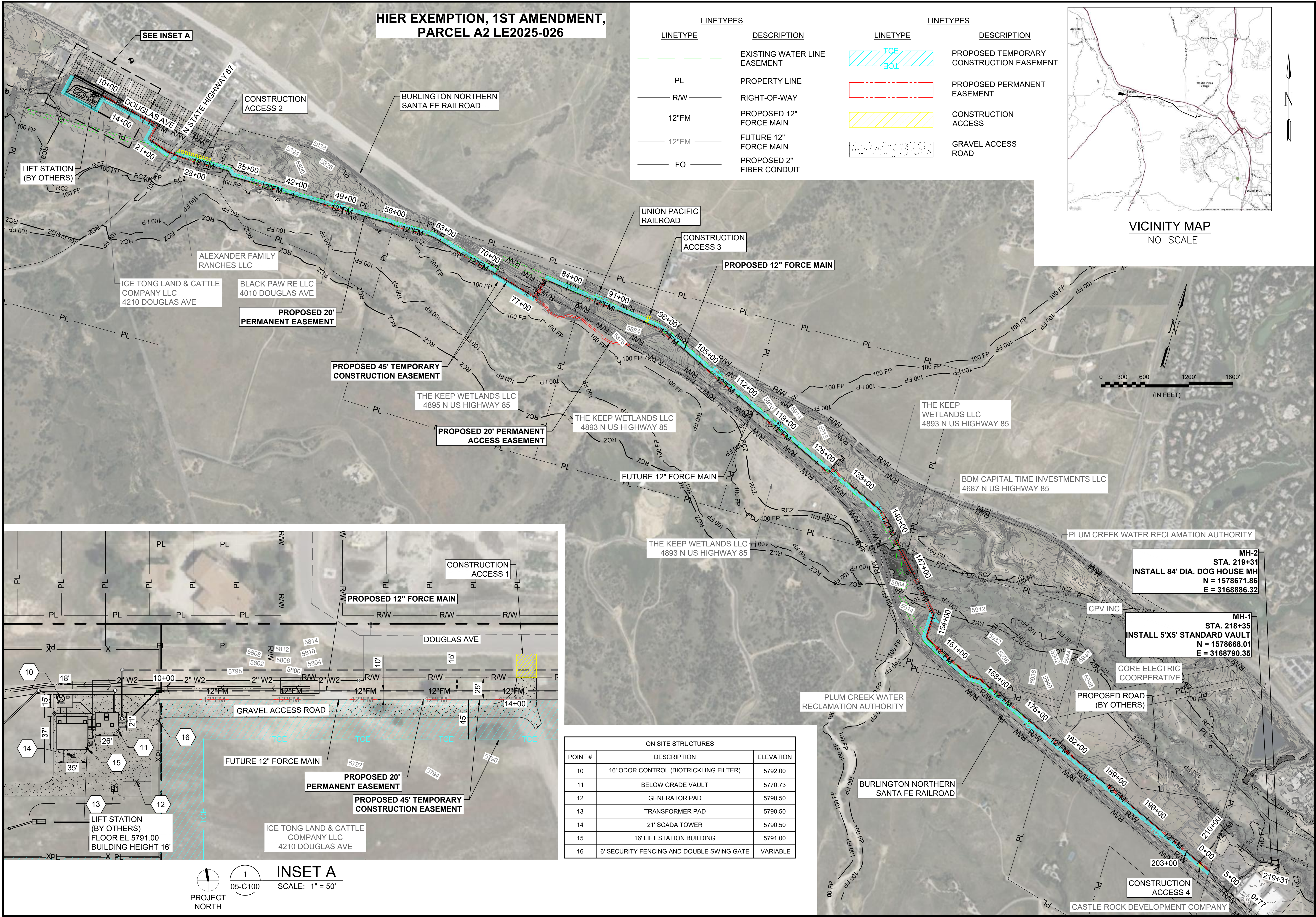
RE: Hier Exemption, 1st Amendment, Parcel A2, Case # LE2025-026

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the request for approval of a Location and Extent (L & E) to construct a sewer lift station on property within Sedalia. Based on this review, no specific concerns regarding the proposed project have been identified.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Violeta Ciocanu (Chokanu)
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-285-6612 – Email: violeta.ciocanu@xcelenergy.com

File: L:\2024\W25-2401588 - Castle Rock Sedalia LS and FM PDB\Drawings - Force Main\EXHIBITS\CRS-05-C100-Overall Exhibit.dwg Last Save: 12/19/2025 2:53 PM Last saved by: OGPeretz
Last plotted by: Perez, Osiel G. Plot Style: AECmonochrome.ctb Plot Scale: 1:2,584.9 Plot Date: 12/19/2025 3:38 PM Plotter used: None



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REV	DATE	DESCRIPTION	BY

CASTLE ROCK WATER

CASTLE ROCK SEDALIA FORCE MAIN

TOWN OF CASTLE ROCK

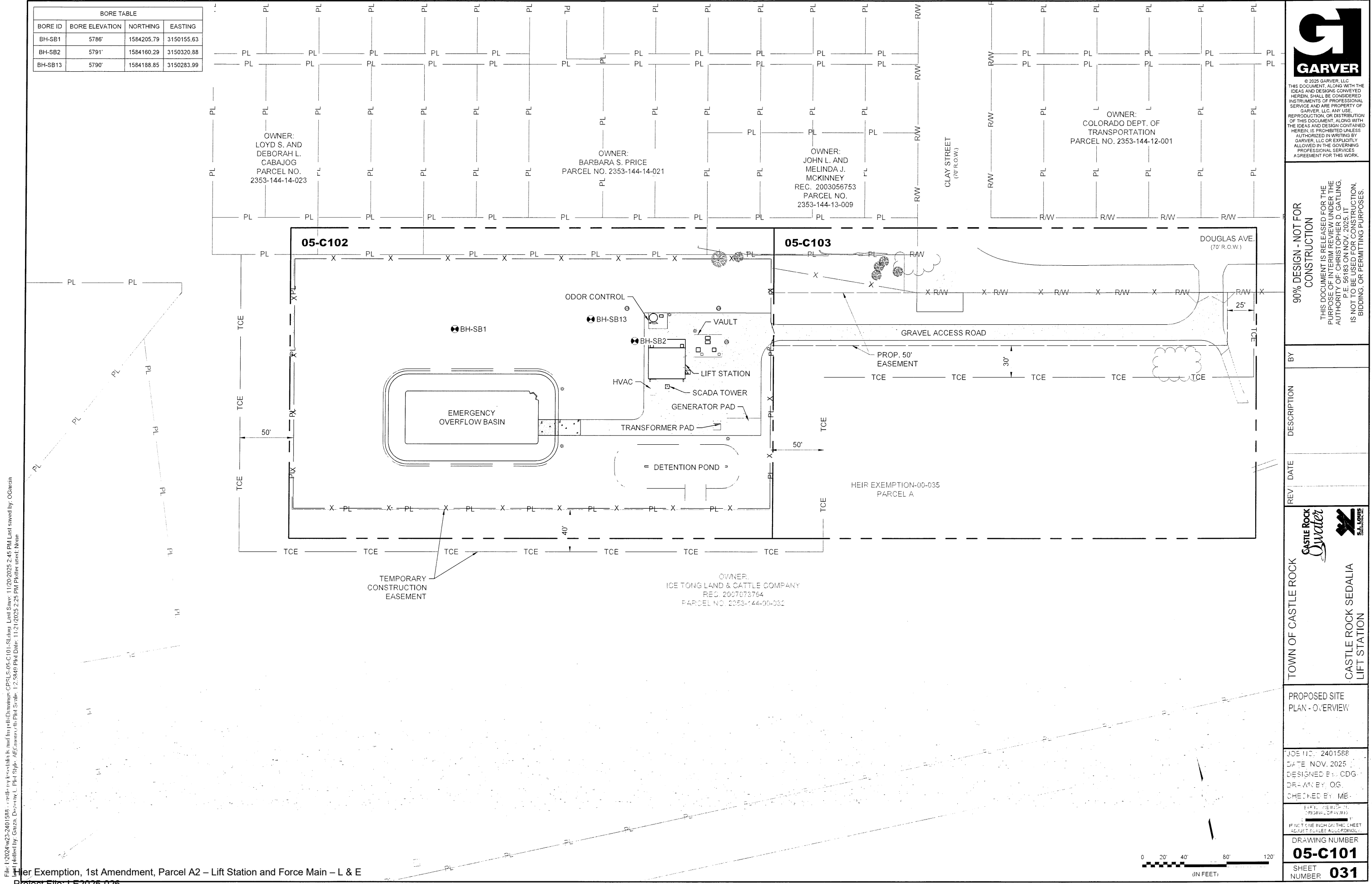
LOCATION AND EXTENT PLAN EXHIBIT

JOB NO.: 2401588
DATE: DEC. 2025
DESIGNED BY: PMB
DRAWN BY: UOP
CHECKED BY: PMB


BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DRAWING NUMBER

SHEET NUMBER **01**



BORE TABLE			
BORE ID	BORE ELEVATION	NORTHING	EASTING
BH-SB1	5786'	1584205.79	3150155.63
BH-SB2	5791'	1584160.29	3150320.88
BH-SB13	5790'	1584188.85	3150283.99




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REV	DATE	DESCRIPTION	BY

TOWN OF CASTLE ROCK



CASTLE ROCK SEDALIA LIFT STATION

PROPOSED SITE PLAN - OVERVIEW

JOB NO. 2401588
DATE NOV. 2025
DESIGNED BY: CDG
DRAWN BY: OG
CHECKED BY: ME

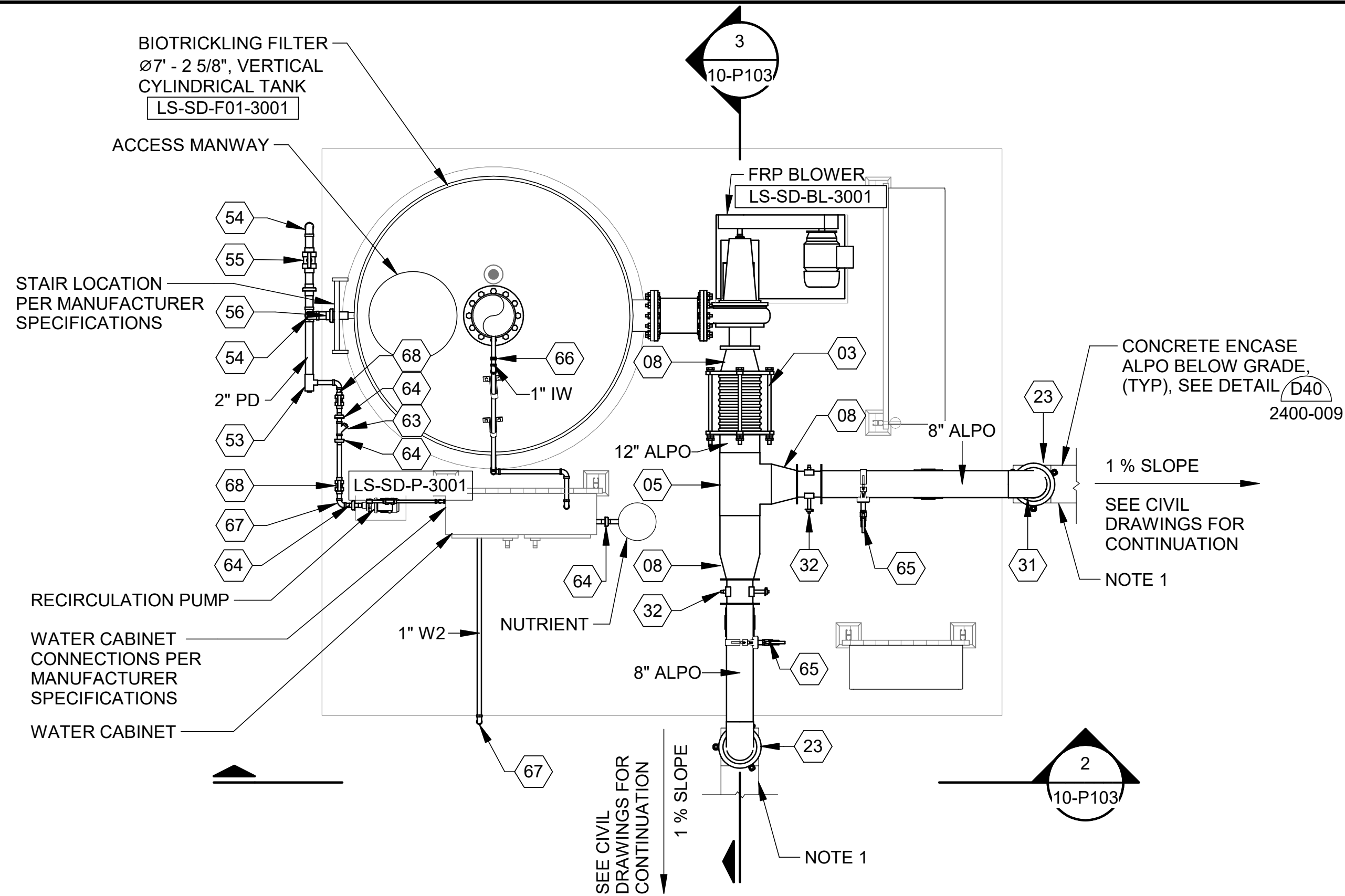
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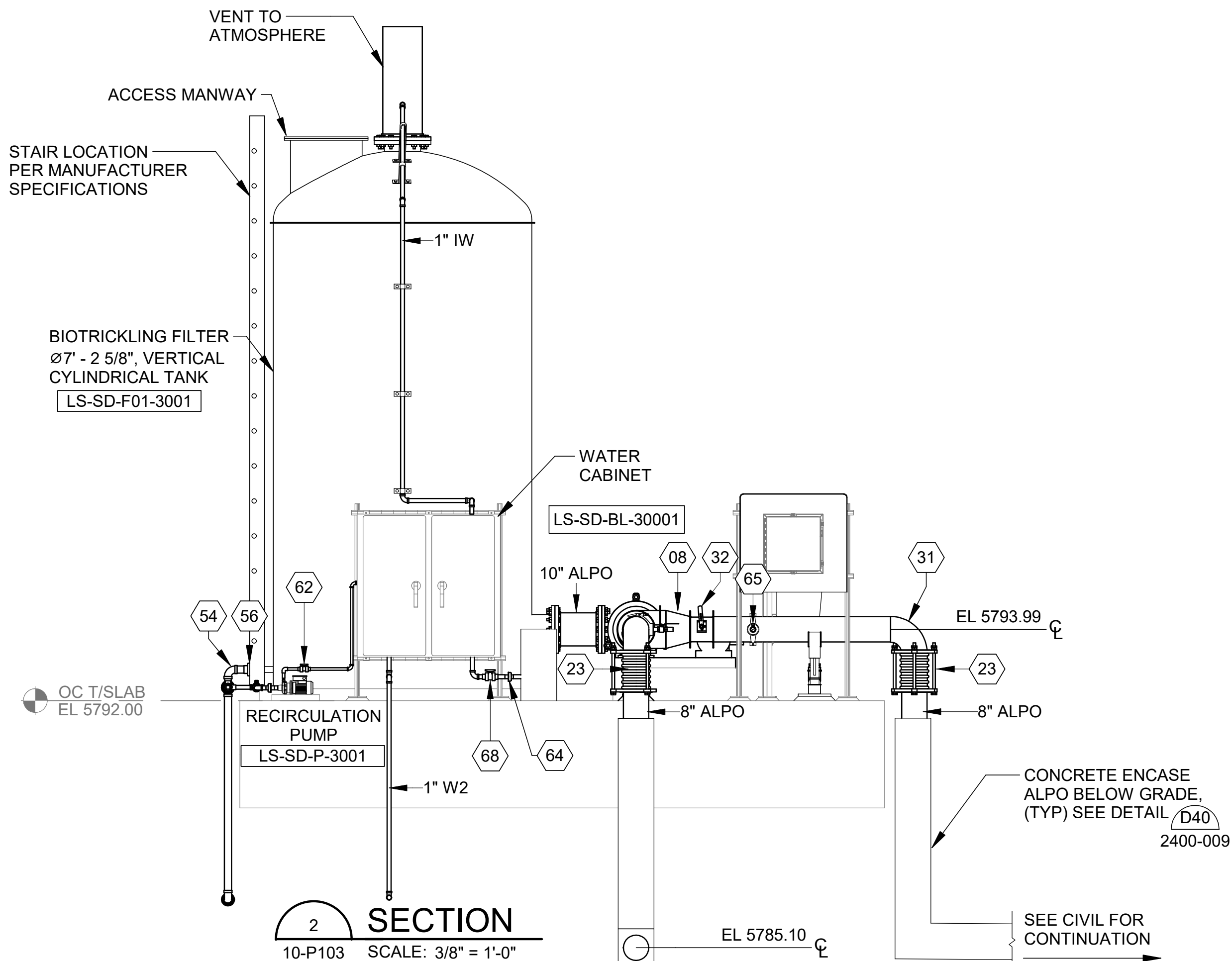
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SHEET NUMBER
031

Revit File: Autodesk Docs//W23-2401588 - Castle Rock Sedalia LS and FM PDE/W23-2401588 - Castle Rock Sedalia LS.rvt
Plot Date: 11/21/2025 11:50:50 AM



1
10-P103
PLAN VIEW
SCALE: 3/8" = 1'-0"



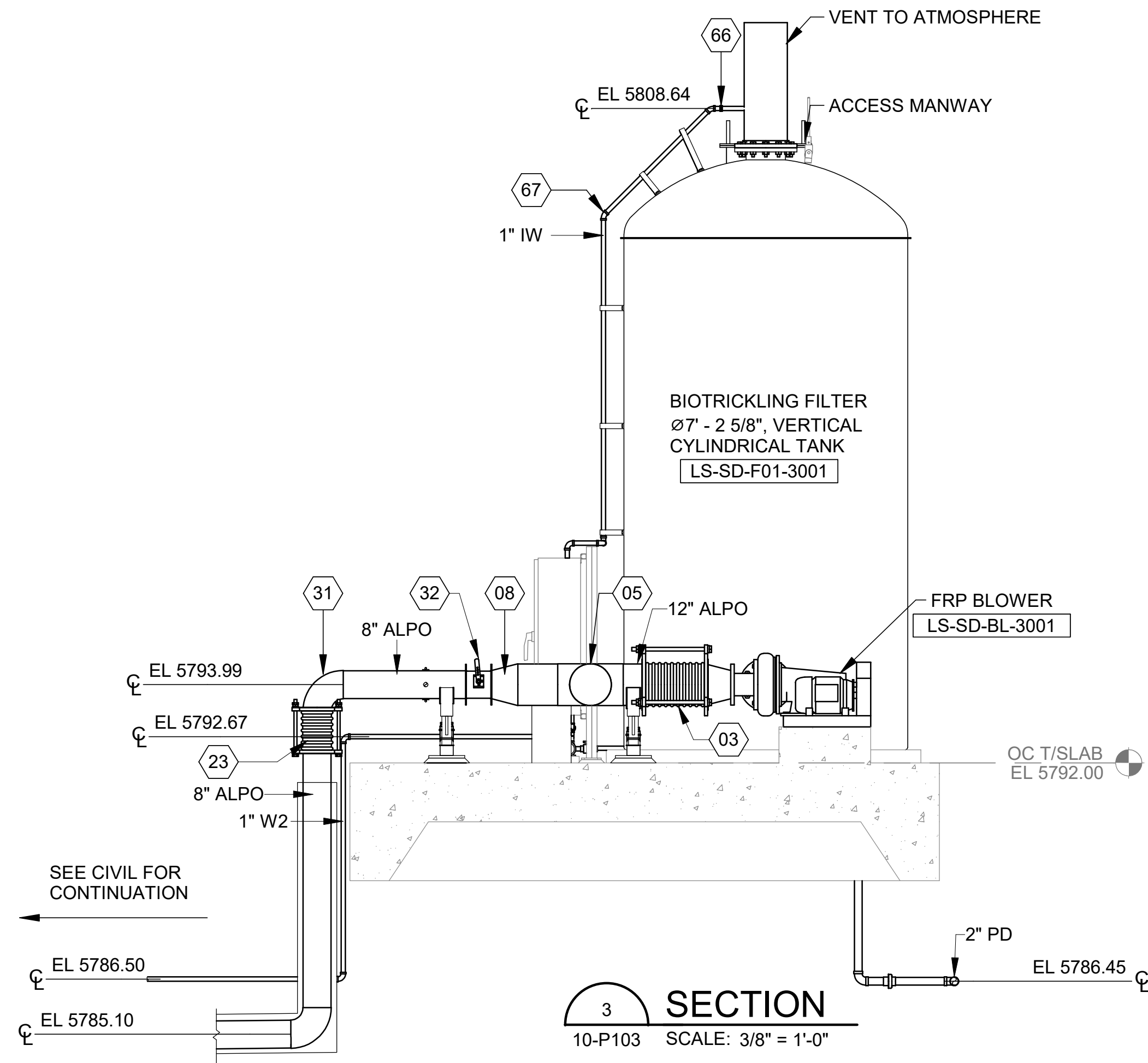
2
10-P103
SECTION
SCALE: 3/8" = 1'-0"

NOTES:

1. SLOPE ALPO PIPING 1% AWAY FROM ODOR CONTROL TO ALLOW CONDENSATE TO DRAIN TO THE VAULT AND WET WELL.

KEYNOTES

03	12" EXPANSION JOINT (FLG x FLG)
05	12" x 12" x 12" TEE (WLD x WLD x WLD)
08	12" x 8" REDUCER (WLD x WLD)
23	8" EXPANSION JOINT (FLG x FLG)
31	8" 90° BEND (WLD x WLD)
32	8" BALANCING DAMPER (FLG x FLG)
53	2" x 2" x 1" TEE (SOC x SOC x SOC)
54	2" 90° BEND (SOC x SOC)
55	2" BALL VALVE - V330 (SOC X SOC)
56	2" UNION (SOC x SOC)
62	1/2" BALL VALVE - V330 (SOC X SOC)
63	1" x 1" x 1" WYE TEE (SOC x SOC x SOC)
64	1" UNION (SOC x SOC)
65	1" BALL VALVE - V330 (THD X THD)
66	1" COUPLING (SOC x SOC)
67	1" 90° BEND (SOC x SOC)
68	1" BALL VALVE - V330 (SOC X SOC)



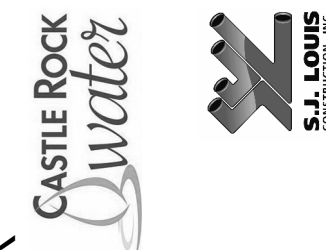
3
10-P103
SECTION
SCALE: 3/8" = 1'-0"



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REV	DATE	DESCRIPTION	BY



TOWN OF CASTLE ROCK
CASTLE ROCK SEDALIA
LIFT STATION

ODOR CONTROL
PLAN & SECTIONS

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: FSR
DRAWN BY: MAR
CHECKED BY: WJL

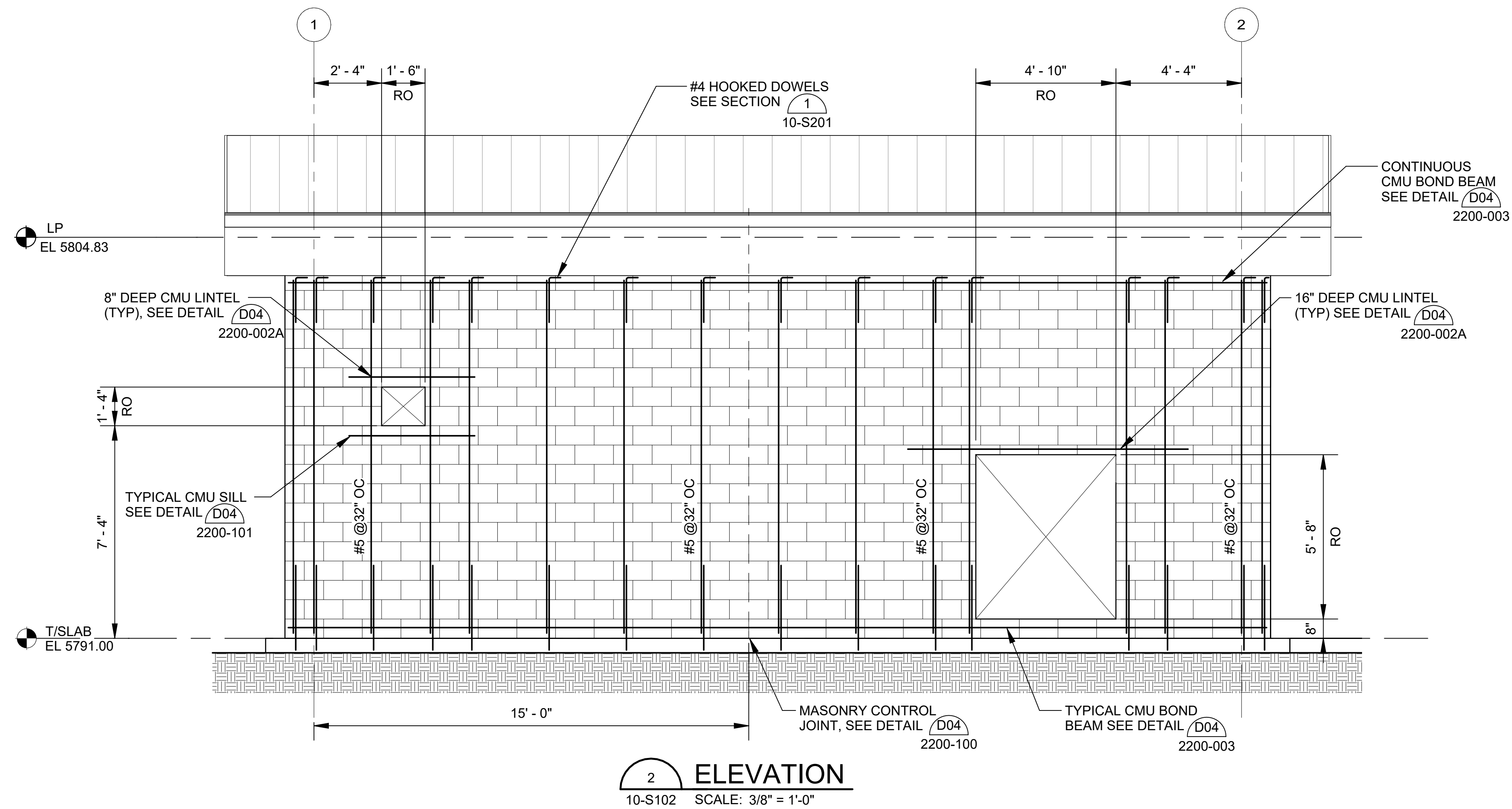
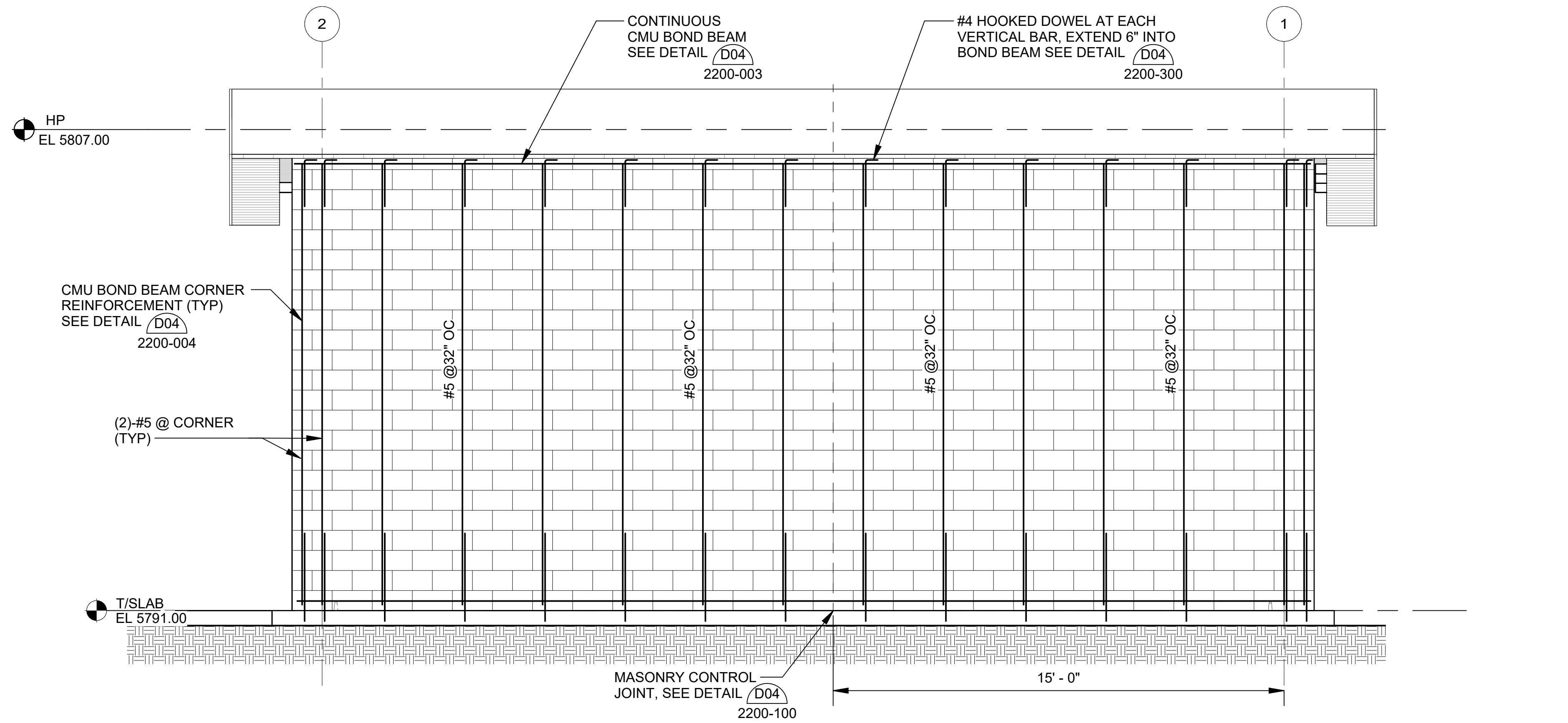
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DRAWING NUMBER

10-P103

SHEET
NUMBER 074

Revit File: Autodeskt Docs//W23-2401588 - Castle Rock Sedalia LS and FM PDB/W23-2401588 - Castle Rock Sedalia LS.rvt
Plot Date: 11/21/2025 3:31:53 PM



NOTES:

1. FOR GENERAL STRUCTURAL NOTES, SEE GENERAL DRAWINGS.
2. FOR FACILITY SITE COORDINATES AND GRADING, SEE CIVIL DRAWINGS.
3. COORDINATE WALL AND SLAB OPENINGS WITH OTHER DISCIPLINE DRAWINGS.
4. COORDINATE EQUIPMENT PAD DIMENSION AND LOCATION WITH OTHER DISCIPLINE DRAWINGS.

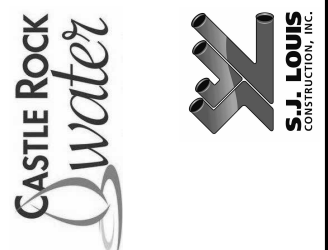


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REV	DATE	DESCRIPTION	BY



TOWN OF CASTLE ROCK

CASTLE ROCK SEDALIA
LIFT STATION

LIFT STATION
STRUCTURAL
ELEVATIONS 1

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: JCN
DRAWN BY: RLF
CHECKED BY: JG

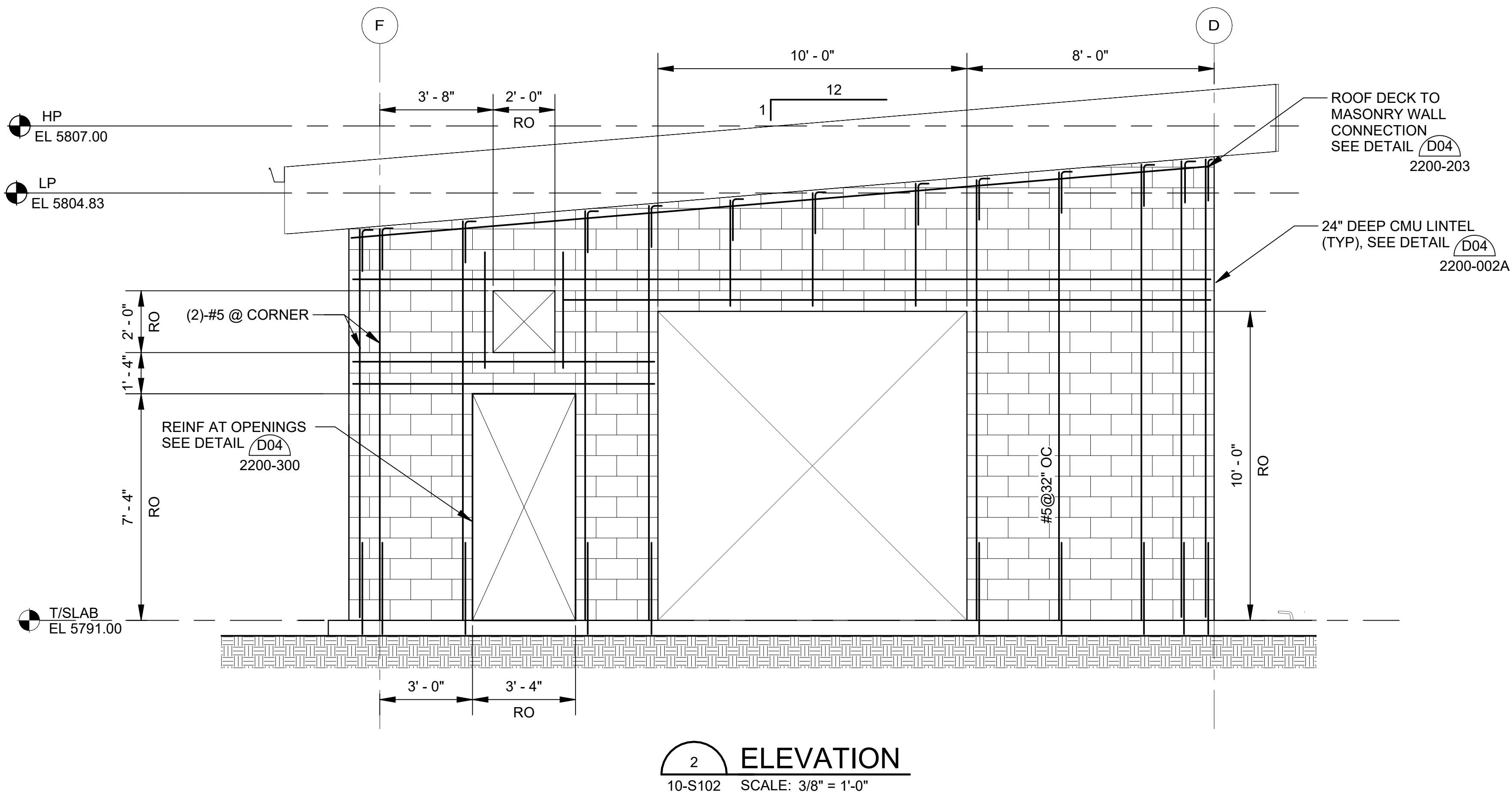
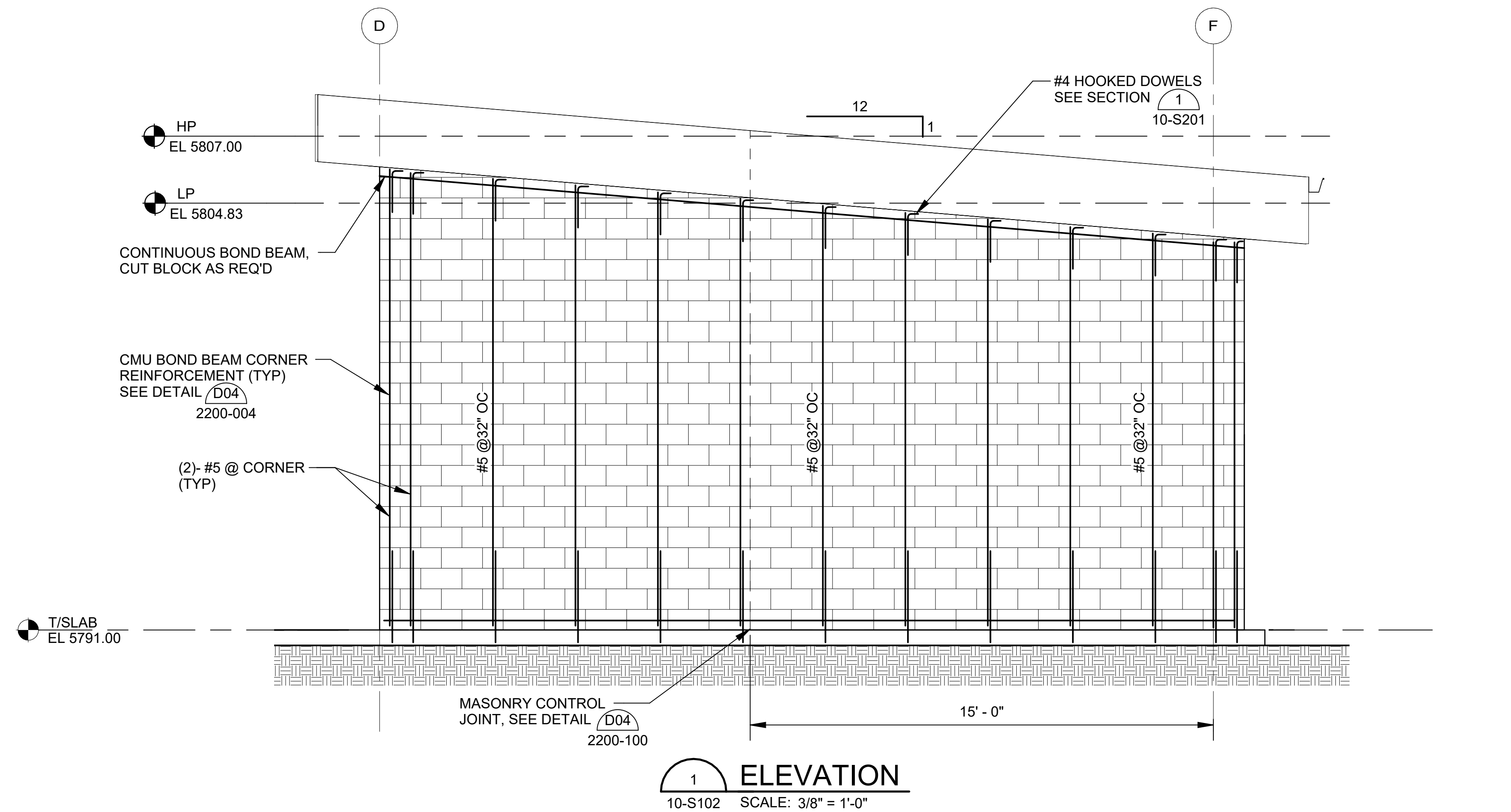
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DRAWING NUMBER


10-S201

SHEET NUMBER 057

Revit File: Autodeskt Docs//W23-2401588 - Castle Rock Sedalia LS and FM PDB/W23-2401588 - Castle Rock Sedalia LS.rvt
Plot Date: 11/21/2025 3:31:54 PM



- NOTES:
1. FOR GENERAL STRUCTURAL NOTES, SEE GENERAL DRAWINGS.
 2. FOR FACILITY SITE COORDINATES AND GRADING, SEE CIVIL DRAWINGS.
 3. COORDINATE WALL AND SLAB OPENINGS WITH OTHER DISCIPLINE DRAWINGS.
 4. COORDINATE EQUIPMENT PAD DIMENSION AND LOCATION WITH OTHER DISCIPLINE DRAWINGS.



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REV	DATE	DESCRIPTION	BY

TOWN OF CASTLE ROCK

CASTLE ROCK WATER

CASTLE ROCK SEDALIA LIFT STATION

LIFT STATION STRUCTURAL ELEVATIONS 2

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: JCN
DRAWN BY: RLF
CHECKED BY: JG

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

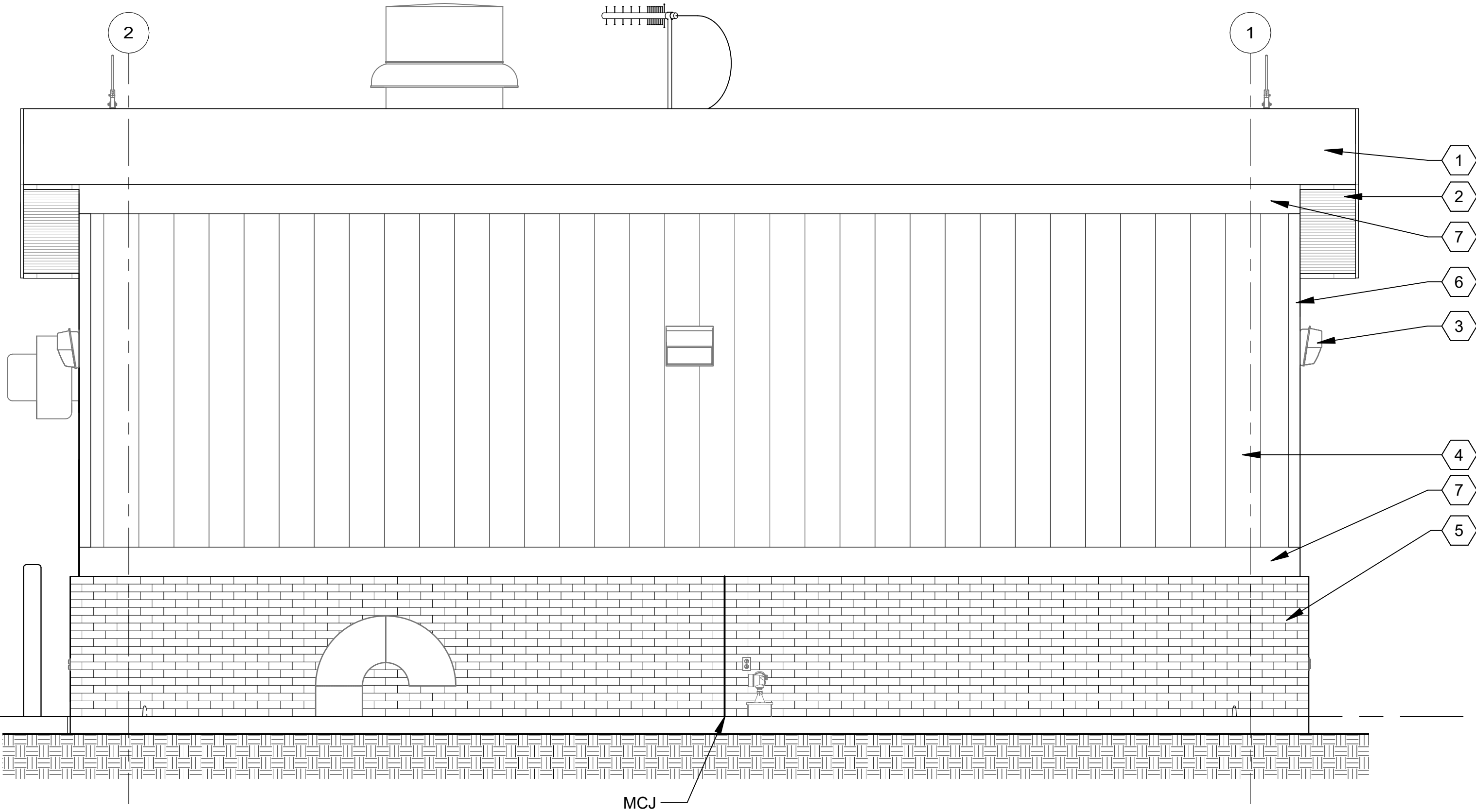
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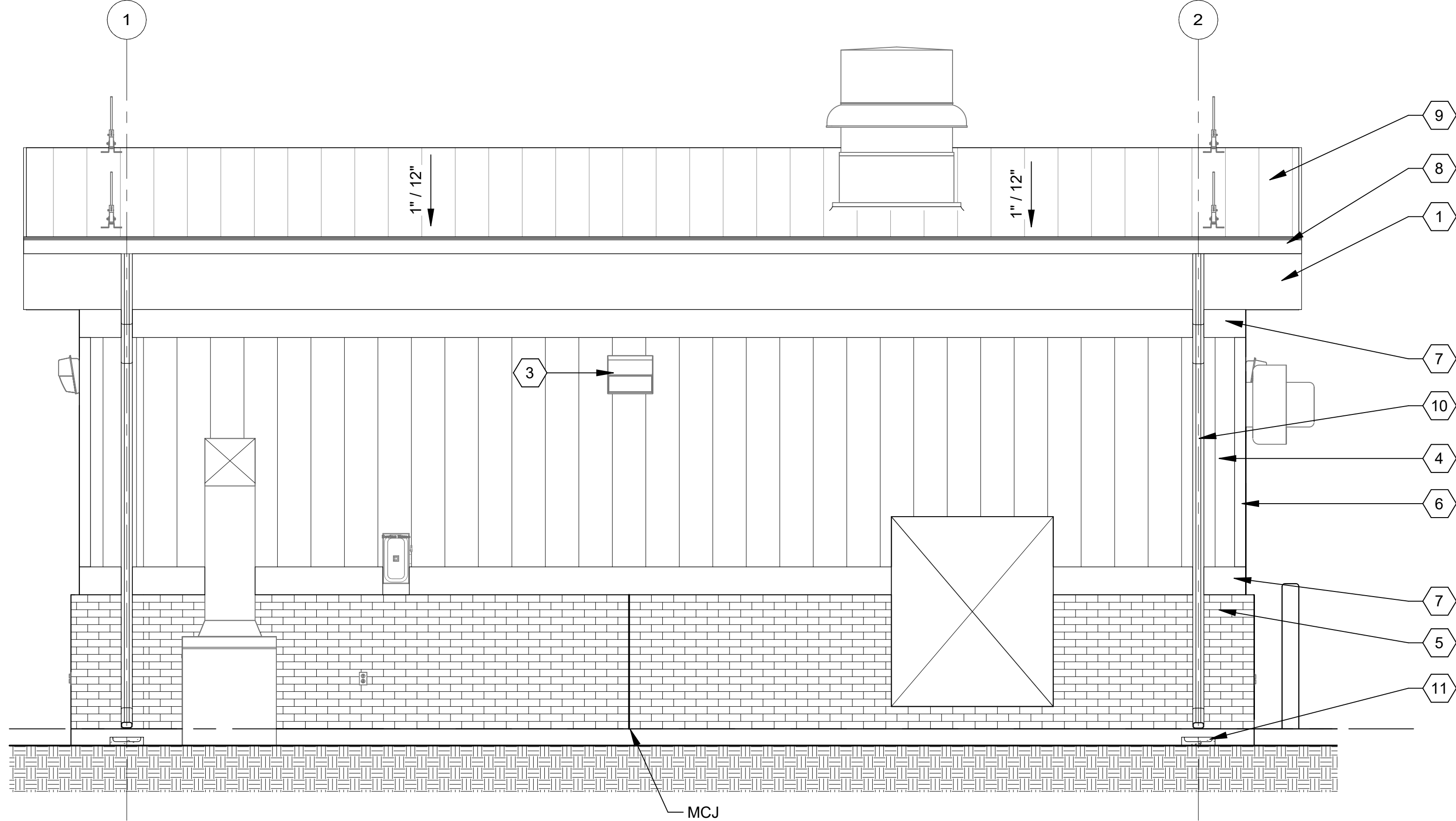
10-S202

SHEET NUMBER

058



1
10-A101 ELEVATION
SCALE: 3/8" = 1'-0"



2
10-A101 ELEVATION
SCALE: 3/8" = 1'-0"

NOTES:

- 1. FOR GENERAL STRUCTURAL NOTES, SEE GENERAL DRAWINGS.
- 2. FOR FACILITY SITE COORDINATES AND GRADING, SEE CIVIL DRAWINGS.
- 3. COORDINATE WALL AND SLAB OPENINGS WITH OTHER DISCIPLINE DRAWINGS.
- 4. COORDINATE EQUIPMENT PAD DIMENSION AND LOCATION WITH OTHER DISCIPLINE DRAWINGS.

KEYNOTES

1	PREFINISHED METAL FASCIA
2	PREFINISHED METAL SOFFIT
3	WALL MOUNTED DOWNLIGHT
4	PREFINISHED METAL WALL PANEL
5	8" MODULAR BRICK VENEER
6	PREFINISHED METAL TRIM 1X4
7	PREFINISHED METAL TRIM 1X10
8	PREFINISHED METAL GUTTER
9	PREFINISHED METAL STANDING SEAM ROOF
10	PREFINISHED METAL DOWNSPOUT
11	PRECAST CONCRETE SPLASH BLOCKS

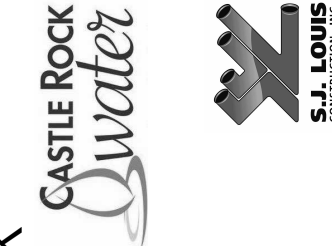


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REV	DATE	DESCRIPTION	BY



TOWN OF CASTLE ROCK
CASTLE ROCK SEDALIA
LIFT STATION

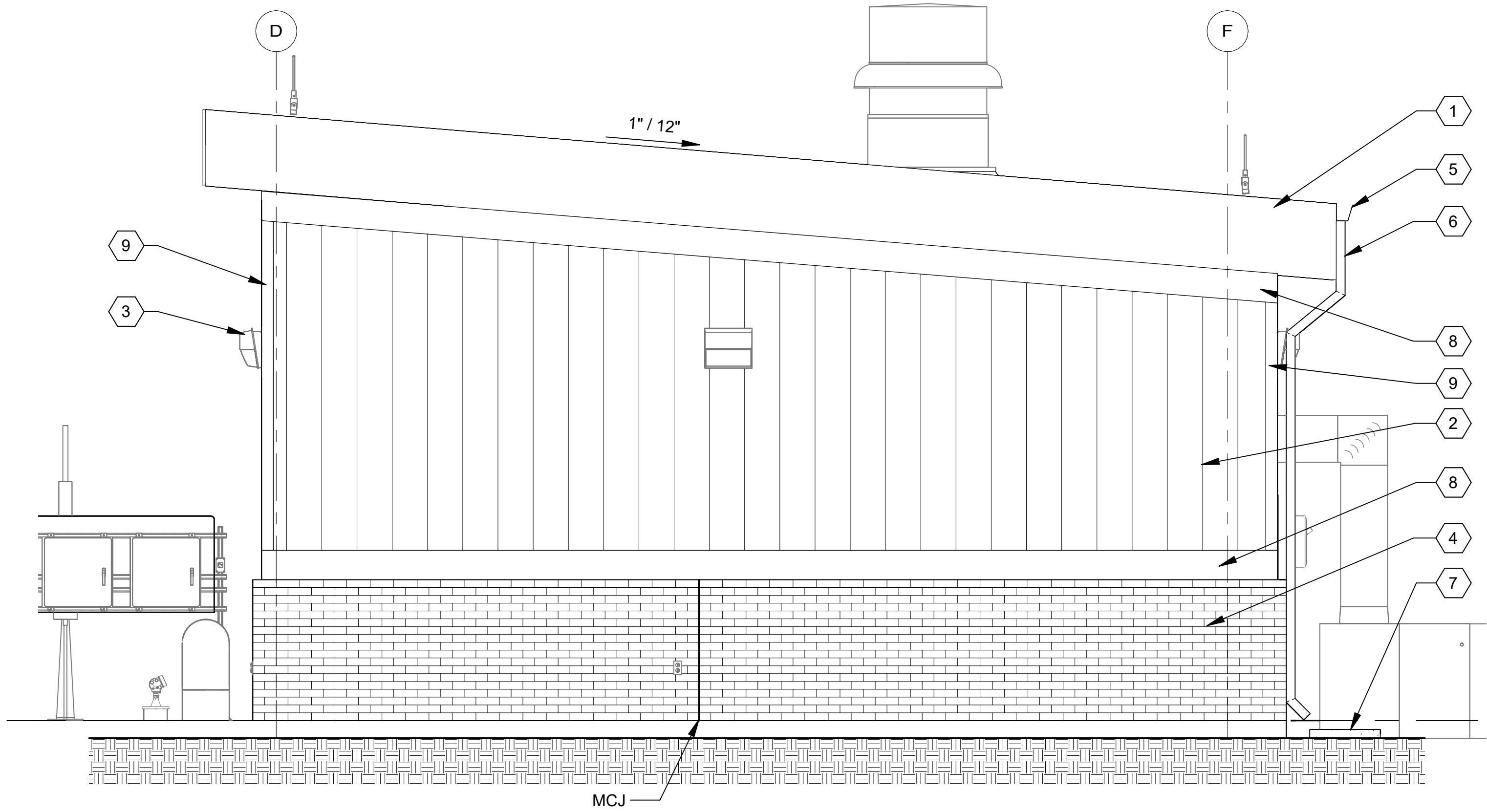
LIFT STATION
ELEVATIONS 1

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: JCN
DRAWN BY: RLF
CHECKED BY: JG

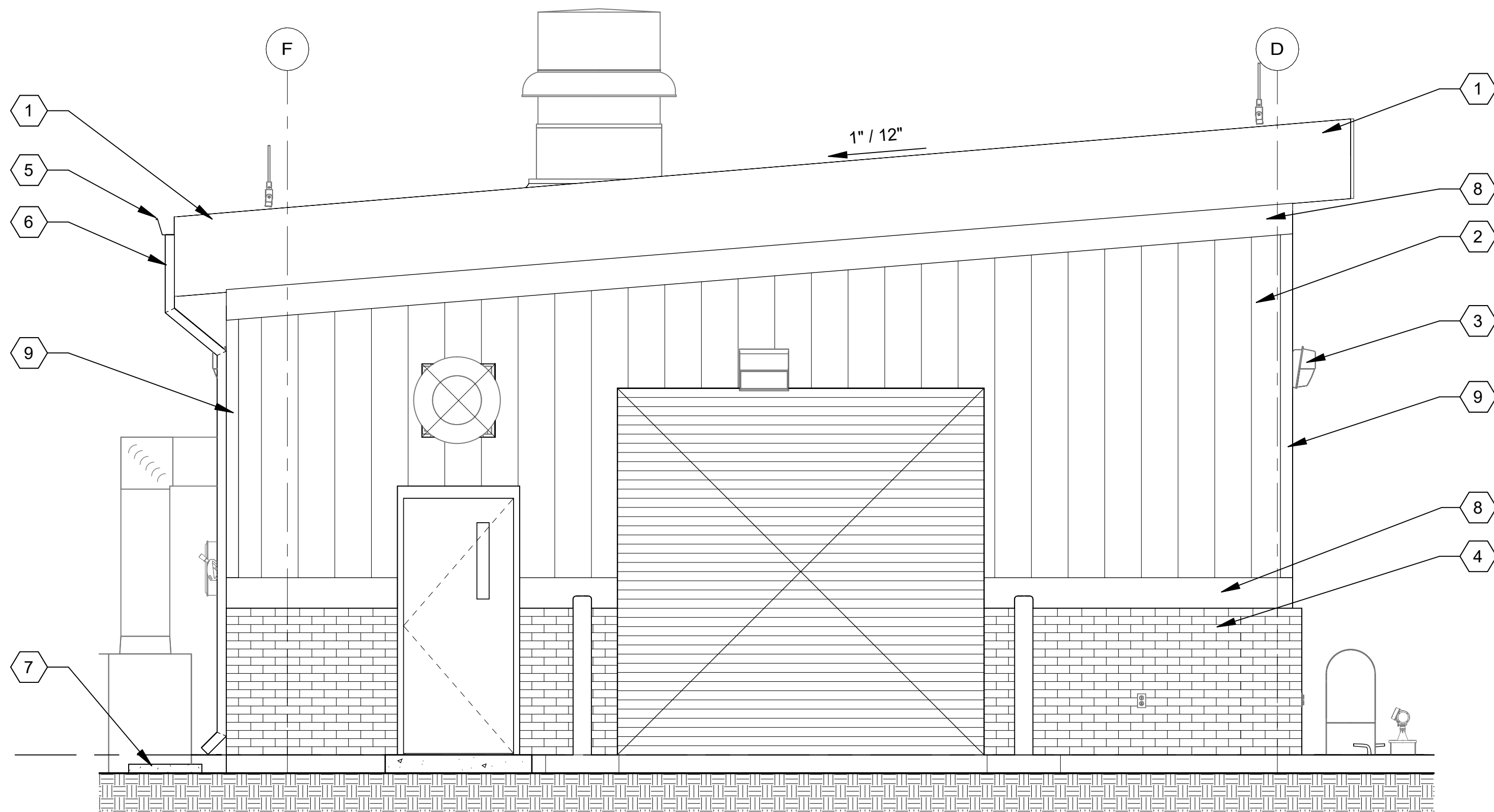
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DRAWING NUMBER
10-S203

SHEET NUMBER 059



ELEVATION
10-A101 SCALE: 3/8" = 1'-0"



ELEVATION
10-A101 SCALE: 3/8" = 1'-0"

NOTES:

1. FOR GENERAL STRUCTURAL NOTES, SEE GENERAL DRAWINGS.
2. FOR FACILITY SITE COORDINATES AND GRADING, SEE CIVIL DRAWINGS.
3. COORDINATE WALL AND SLAB OPENINGS WITH OTHER DISCIPLINE DRAWINGS.
4. COORDINATE EQUIPMENT PAD DIMENSION AND LOCATION WITH OTHER DISCIPLINE DRAWINGS.

KEYNOTES

1	PREFINISHED METAL FASCIA
2	PREFINISHED METAL WALL PANEL
3	WALL MOUNTED DOWNLIGHT
4	8" MODULAR BRICK VENEER
5	PREFINISHED METAL GUTTER
6	PREFINISHED METAL DOWNSPOUT
7	PRECAST CONCRETE SPLASH BLOCKS
8	PREFINISHED METAL TRIM 1X10
9	PREFINISHED METAL TRIM 1X4



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REV	DATE	DESCRIPTION	BY



TOWN OF CASTLE ROCK
CASTLE ROCK SEDALIA
LIFT STATION

LIFT STATION
ELEVATIONS 2

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: JCN
DRAWN BY: RLF
CHECKED BY: JG

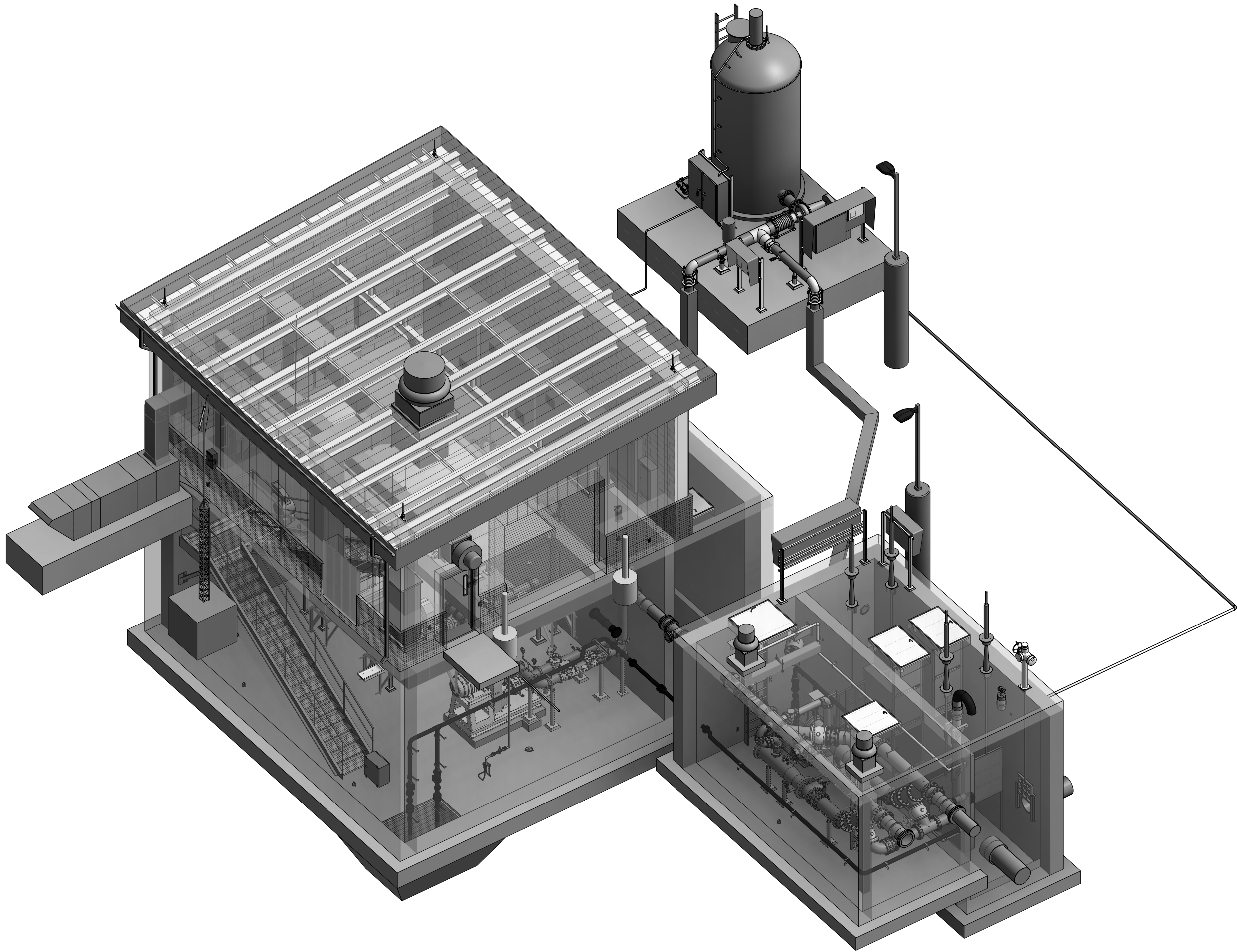
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DRAWING NUMBER

10-S204

SHEET NUMBER **060**



1 ISOMETRIC
10-P904 SCALE: NOT TO SCALE

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PERMITTING PURPOSES.

REV	DATE	DESCRIPTION	BY



TOWN OF CASTLE ROCK
CASTLE ROCK SEDALIA
LIFT STATION

LIFT STATION
ISOMETRIC 4

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: FSR
DRAWN BY: MAR
CHECKED BY: W.JL

BAR IS ONE INCH ON
ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY.

DRAWING NUMBER

10-P904

SHEET
NUMBER 084

File: L:\2024\W25-240-1588 - Castle Rock Sedalia LS and FM PDB\Drawings\CRS_90-E102.dwg, Last Saved: 11/21/2025 12:36 AM Last saved by: RGGarcia
Last plotted by: Garcia, Rogelio G., Plot Style: AECmono.ctb Plot Scale: 1/2"=2025 12:49 AM Plotter used: None

KEYNOTES

1 INTEGRAL DISCONNECT SWITCH.



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VOLTS <u>120/240</u> Φ <u>1</u> W <u>3</u>																PANELBOARD <u>LS-SD-LP-1001</u>		(KVA) <u>12.5</u> PH <u>A</u>	MIN AIC <u>18KA</u>
SECONDARY MAIN <u>175A 100% RATED</u>																LOCATION: <u>LIFT STATION BUILDING</u>			
SOURCE <u>LS-SD-TX-1001</u> CIRC. SPACES <u>42</u>																FEEDER AMPS <u>156A</u>		<u>11.5</u> PH <u>C</u>	
MOUNT <u>SURFACE</u>																TOTAL AMPS <u>100A</u>		<u>24.0</u> TOTAL	NEMA 3R SS
LOAD DESCRIPTION	LOAD (VA)		LTG	REC	COND	GAUGE	CIR	BKR	A	C	BKR	CIR	GAUGE	COND	REC	LTG	LOAD (VA)		LOAD DESCRIPTION
	Φ A	Φ B															Φ A	Φ B	
LIFT STATION BLDG UPPER LEVEL LIGHTING	306	-	6		1"	#12	1	20/1P			20/1P	2	#10	1"			240	-	SCADA CONTROL PANEL (LS-SD-CP-1001)
LIFT STATION BLDG LOWER LEVEL LIGHTING	-	153	3		1"	#12	3	20/1P			20/1P	4	#12	1"			-	233	EXHAUSTS FAN NO.3 (LS-SD-FAN-1001)
EXIT LIGHTING	4	-	1		1"	#12	5	20/1P			20/1P	6	#12	1"	4		720	-	LIFT STATION OUTDOOR REC
LIFT STATION BLDG OUTDOOR LIGHTING	-	60	4		1"	#12	7	20/1P			20/1P	8	#12	1"	1		-	180	ODOR CONTROL REC
LIFT STATION BLDG REC UPPER LEVEL	900	-		5	1"	#12	9	20/1P			20/1P	10					300	-	LS-SD-GEN-1001 BATTERY CHARGER
LIFT STATION BLDG REC LOWER LEVEL	-	720		4	1"	#12	11	20/1P			20/1P	12	#12	1"		2	-	102	OCU & SITE LIGHTING
LS-SD-GEN-1001 CRANKCASE HEATER	500	-			1"	#12	13	30/1P			20/1P	14	#12	1"	1	1	231	-	LS-SD-GEN-1001 LIGHTING AND REC
LOWER VAULT REC	-	360		2	1"	#12	15	20/1P			20/1P	16	#12	1"	1	1	-	231	GATE ENTRANCE LIGHTING & REC
LOWER VAULT LIGHTING	236	-	4		1"	#12	17	20/1P			30A/2P	18	#12	1"			1920	-	SUMP PUMP CONTROL PANEL (LS-SD-CP-1004)
SUMP PUMP CONTROL PANEL (LS-SD-CP-1003)	-	1920			1"	#12	19	30A/2P				20					-	1920	
	1920	-					21				30/2P	22	#10	1"			3000	-	LS-SD-GEN-1001 WATER JACKET HEATER
BASIN LIGHTING & REC	-	564	4	2	1"	#12	23	20/1P				24					-	3000	
HEAT TRACING	75	-			1"	#12	25	20/1P			20A/1P	26	#12	1"			35	-	LOWER SMOKE DETECTOR
LS-SD-GEN-1001 FUEL OIL HEATER	-	2000			1"	#12	27	30/1P			20A/1P	28	#12	1"			-	10	FLOW METER (LS-SD-FIT-1001)
LS-SD-GEN-1001 ALT SPACE HEATER	500	-			1"	#12	29	20/1P			20A/1P	30	#12	1"			1656	-	RECIRCULATION PUMP (LS-SD-P-3001)
UPPER SMOKE DETECTOR	-	35			1"	#12	31	20/1P			-	32							SPACE
SPACE							33	-			-	34							SPACE
SPACE							35	-			-	36							SPACE
SPACE							37	-			-	38							SPACE
SPACE							39	-			-	40							SPACE
SPACE							41	-			-	42							SPACE



1
90-E103
PANEL SCHEDULE
SCALE: NONE

LIGHT FIXTURE SCHEDULE									
MARK	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS	SIZE	VA	VOLTAGE	MOUNTING	MOUNTING HEIGHT
A	LITHONIA	FEM L48 8000LM IMAFL MD MVOLT 40K 80CRI	INDUSTRIAL LINEAR LED WET LOCATIONS	LED	52" X 7" X 4"	51	120V	PENDANT	AS NOTED ON PLANS
AE	LITHONIA	FEM L48 8000LM IMAFL MD MVOLT 40K 80CRI E10WMC	INDUSTRIAL LINEAR LED WET LOCATIONS WITH BATTERY BACKUP	LED	52" X 7" X 4"	51	120V	PENDANT	AS NOTED ON PLANS
C	LITHONIA	DSX1 LED P1 40K 80CRI TFTM MVOLT SPA PIR SPD20KV	SITE AREA POLE MOUNTED LIGHT, WITH SURGE PROTECTION AND PHOTOCCELL	LED	32"L x 15"W x 7"D	51	120V	POLE	12' AFG
WE	LITHONIA	WDGE2 LED P2 40K 80CRI VW MVOLT SRM E20WC PE	WALL PACK WITH BATTERY BACKUP	LED	15" X 11" X 9"	15	MULTI	WALL	10' AFF
X	LITHONIA	ECRG HO SQ M6	EXIT COMBO	LED	19" X 9"	4	MULTI	WALL	ABOVE DOORWAY

1
90-E103
LIGHT FIXTURE SCHEDULE
SCALE: NONE

REV	DATE	DESCRIPTION	BY

TOWN OF CASTLE ROCK



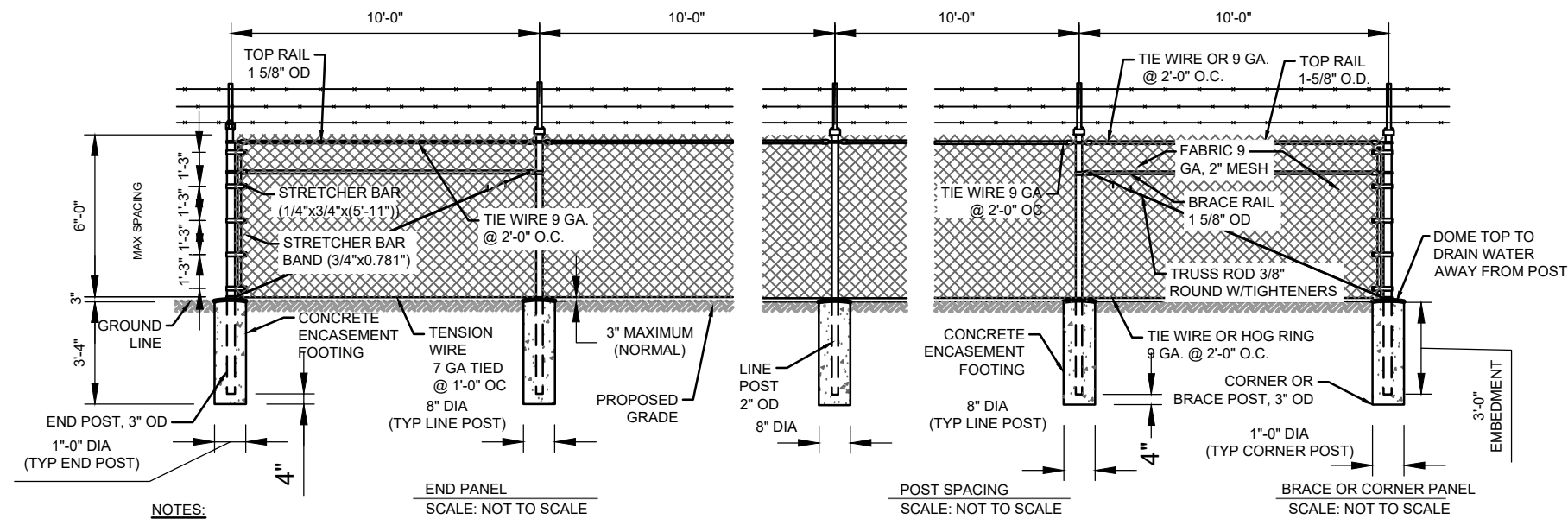
CASTLE ROCK SEDALIA
LIFT STATION

ELECTRICAL
SCHEDULES

JOB NO.: 2401588
DATE: NOV. 2025
DESIGNED BY: ECO
DRAWN BY: RGG
CHECKED BY: ECO

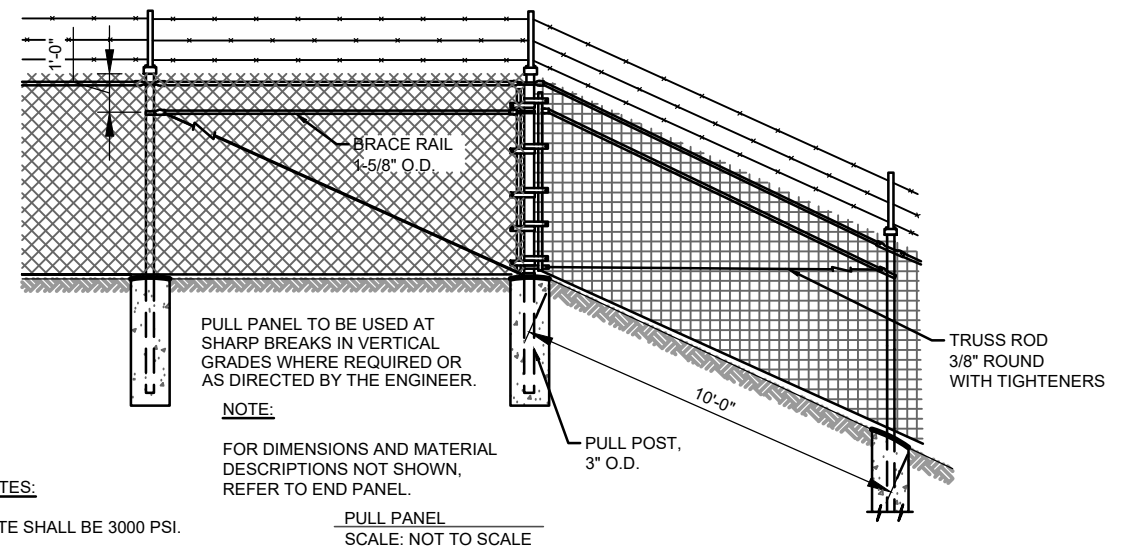
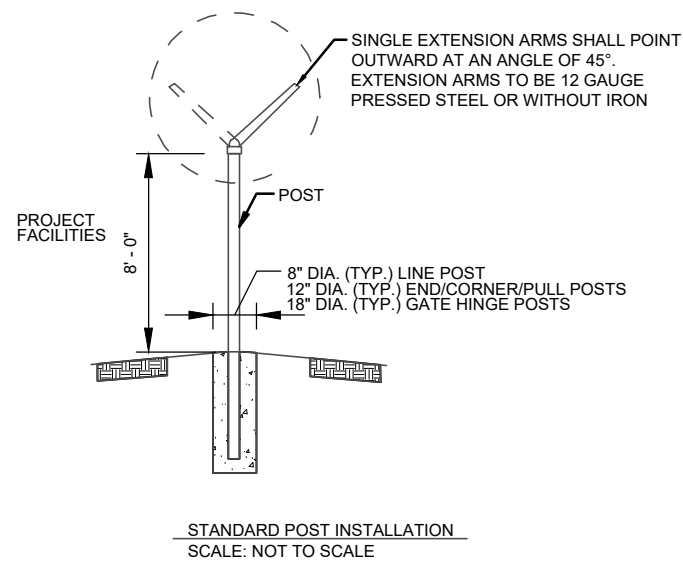
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DRAWING NUMBER
90-E103
SHEET NUMBER **110**



NOTE:

BRACE PANEL SHALL BE PLACED A MAXIMUM OF 400 FEET CENTER TO CENTER FROM END, CORNER, OR BRACE POSTS. ANY BREAKS IN HORIZONTAL ALIGNMENT OF MORE THAN 30 DEGREES SHALL BE CONSIDERED A CORNER.



REV		DATE	DESCRIPTION	BY
TOWN OF CASTLE ROCK		DIVISION		
CASTLE ROCK, COLORADO		D32		
CASTLE ROCK SEDALIA LIFT STATION		SECTION - DETAIL NO.		
JOB NO.: 2401588		3113-001		
		DATE: 11/06/2025		

